AGENDA

THE **BOARD OF ADJUSTMENT** WILL ASSEMBLE FOR A HEARING OF APPEALS FROM THE AITKIN COUNTY ZONING ORDINANCE ON September 3, 2025 **AT 4:00 P.M.** IN THE **AITKIN COUNTY GOVERNMENT CENTER BOARD ROOM, 307 SECOND STREET NW, AITKIN, MN 56431.** THE FOLLOWING APPLICATIONS WILL BE REVIEWED.

1. Call the meeting to order.
2. Roll call.
3. Approve the agenda for the September 3, 2025 Board of Adjustment meeting.

Old Business:

4. WILLIAM L COOK TRUSTEE, 20379 529TH LANE, MCGREGOR, MN 55760, is requesting a variance from the maximum allowed 30 cubic yards of material to excavate and/or place 600 cubic yards of material in a bluff impact zone. S 400 OF LOT 2 & THE NE SW LESS APPROX 26 AC & LESS THE PT IN DOC 480415, Section Twenty-nine (29), Township Fifty (50), Range Twenty-three (23), Aitkin County, MN.

APP-2024-001279

5. DANIEL & LINDA SCHMITZ, 335 3RD ST SW, PLAINVIEW, MN 55964, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Pine) to a setback distance of 74 feet; a variance from the required 30 foot township road right-of-way setback to a setback distance of 17 feet; a variance from the required 30 foot bluff setback to a setback distance of 11 feet; a variance from the maximum 15% building coverage to a building coverage of 24%, and a variance from the maximum 25% impervious surface coverage to a coverage of 34% to construct a 1442 square foot residence, in an area zoned shoreland. LOT 13 ECHO HILL TOWNSITE. Section Twenty-six (26), Township Forty-three (43), Range Twenty-two (22), Aitkin County, MN.

APP-2025-000051

New Business:

6. DIANNE PENNINGTON, 30748 400TH AVE, AITKIN, MN 56431, is requesting a variance from the required 50 foot County road right-of-way setback to construct a 360 square foot residence addition on an existing nonconforming residence located 46.7 feet from the road right-of-way, in an area zoned shoreland. PART OF (SW NW) LOT 2 & PART OF (NW NW) LOT 1 IN DOC 444102. Section Nineteen (19), Township Forty-six (46), Range Twenty-six (26), Aitkin County, MN.

APP-2025-000596

7. JAIME & AMY KORZENOWSKI, 29389 427TH AVE, AITKIN, MN 56431, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Little Pine) to construct a 1260 square foot residence addition and a roofline modification on an existing nonconforming residence located 56 feet from the ordinary high water level, in an area zoned shoreland. PART OF LOT 5 IN DOC 441628. Section Twenty-seven (27), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2025-000654

8. Approval of minutes, August 6, 2025.
9. Adjourn.

AITKIN COUNTY ZONING

NOTICE OF HEARING

THE **BOARD OF ADJUSTMENT** WILL ASSEMBLE FOR A HEARING OF APPEALS FROM THE AITKIN COUNTY ZONING ORDINANCE ON September 3, 2025 **AT 4:00 P.M.** IN THE **AITKIN COUNTY GOVERNMENT CENTER BOARD ROOM, 307 SECOND STREET NW, AITKIN, MN 56431.** THE FOLLOWING APPLICATIONS WILL BE REVIEWED.

DIANNE PENNINGTON, 30748 400TH AVE, AITKIN, MN 56431, is requesting a variance from the required 50 foot County road right-of-way setback to construct a 360 square foot residence addition on an existing nonconforming residence located 46.7 feet from the road right-of-way, in an area zoned shoreland. PART OF (SW NW) LOT 2 & PART OF (NW NW) LOT 1 IN DOC 444102. Section Nineteen (19), Township Forty-six (46), Range Twenty-six (26), Aitkin County, MN.

APP-2025-000596

JAIME & AMY KORZENOWSKI, 29389 427TH AVE, AITKIN, MN 56431, are requesting a variance from the required 100 foot ordinary high water level setback on a recreational development lake (Little Pine) to construct a 1260 square foot residence addition and a roofline modification on an existing nonconforming residence located 56 feet from the ordinary high water level, in an area zoned shoreland. PART OF LOT 5 IN DOC 441628. Section Twenty-seven (27), Township Forty-six (46), Range Twenty-seven (27), Aitkin County, MN.

APP-2025-000654

AITKIN COUNTY ZONING

Property Location

Property:

Property Location								Property Attributes	
Parcel Number	**Property Address**	**Township or City Name**	**Owner Name(s)**	**Taxpayer Name(s)**	**Legal Description**	**Plat Name**	**Section-Township-Range**	**Lake Class**	**Lake Name**
24-0-037400		NORDLAND TWP	PENNINGTON, DIANNE E	PENNINGTON, DIANNE E	PART OF (NW NW) LOT 1 IN DOC 444102		S:19 T:46 R:26	RD	RIPPLE LAKE (NORDLAND TWP)
24-0-037500	30748 400TH AVE AITKIN MN 56431	NORDLAND TWP	PENNINGTON, DIANNE E	PENNINGTON, DIANNE E	PART OF (SW NW) LOT 2 IN DOC 444102		S:19 T:46 R:26	RD	RIPPLE LAKE (NORDLAND TWP)

Driving directions to the proposed project from Aitkin:	47 south to Deer Street, Right on Oak Avenue, right on 400th Ave, first driveway on the left.
Is the above parcel located in the Shoreland Zoning District?	Yes

Detailed Narrative

Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):	Proposing a bedroom with bath residence addition, single level due to medical issues and can no longer use the bedrooms on upper level. The addition proposed is 18x20. The existing house was built in 1940 and located 46.7 feet from the County right-of-way. Proposed addition will be setback 72.6 feet from right-of-way on backside of the house.
Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:	Shoreland Management Ordinance, Section 5.22.
Are you requesting a variance to a road right-of-way setback in one of these Townships? Fleming, Glen, Lakeside, Pliny, Shamrock, Wagner	No

Supplemental Data

Attach completed form here:	File 1: 3729_001.pdf

A Scaled Drawing or Survey

Scaled Drawing or Survey Checklist:	Location and dimensions for all lot lines. Location and dimensions of all existing and proposed driveways, road right-of-ways, and easements.
Attach a Scaled Drawing or Survey:	File 1: 3731_001.pdf File 2: 3738_001.pdf File 3: showdoc.pdf

Side Profile Sketch of the Structure

Attach a side profile sketch of your proposed structure or addition here (if applicable):	File 1: Untitled_Extract_Pages.pdf

Certificate of Septic Compliance

Please attach a copy of one of the following: - A current compliance inspection on the existing septic system. - A design for a new/replacement septic system.	File 1: AITKIN_COUNTY_-_PZ-PERMITS_-_24-0-037500.pdf

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:	File 1: Not_applicable_for_this_application.docx

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:	File 1: Not_applicable_for_this_application.docx

Property Deed

Attach the property deed(s):	File 1: 444102-p0001_-_p0002.pdf

Terms

General Terms

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.
Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.
I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #63605 (07/21/2025) Expected Payment Method: Check to be mailed

Charge	Cost	Quantity	Total
Recording Fee added 07/21/2025 1:12 PM $46 Flat Fee	$46.00	x 1	$46.00
Variance added 07/21/2025 1:12 PM $650 Flat Fee	$650.00	x 1	$650.00
Grand Total			
		Total	**$696.00**
		Payment 07/21/2025	**$696.00**
		Due	**$0.00**

Approvals

Approval	Signature
Applicant	Dianne Pennington - 07/24/2025 8:20 AM - witnessed by Kim Burton 04228dbe31175116967eb692e08fab46 2a3c93542c3037789f94d45c757a861b
#1 Administrative Review	Kim Burton - 07/24/2025 8:20 AM 6f11a1a49f2eef656d3bf29b38a1d777 7d17e23229cf4fcecda013b2edb7b648
#2 Board of Adjustment Approval	

Public Notes

Text:	
File(s):	

Admin Checklist

This review has been started by:	Kim Burton
Zoning District of project location:	Shoreland

Project located in the floodplain?	No
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes
Is this an after-the-fact application?	No

Numbers

	Current Number	Next from Sequence
UID #	214608	*not applicable*
App. #	2025-000596	«« 2025-000607
Permit #		«« 2025-0480

Print View

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

Aitkin County Environmental Services
307 Second St. NW, Room 219, Aitkin, MN 56431
Phone: 218.927.7342 Fax: 218.927.4372
www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

___ Setback issues for a proposed new structure: **Complete Section 1**

X Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**

___ Setback issues for a septic system: **Complete Section 3**

___ Land alteration: **Complete Section 4**

___ Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**

___ Other: attach separate sheet explaining variance request

~~Section 1 – New Structure(s)~~

Check all that apply and fill in requested information:

___Basement
___Crawlspace
___Walk-out Basement

___One Story Level
___Story-and-a-Half Level
___2nd Story Level

Proposed # of Bedrooms ____

Proposed Structure Height ____ ft.

Existing Total Building Coverage ____%

Proposed Total Building Coverage ____%

Existing Total Impervious Surface Coverage ____%

Proposed Total Impervious Surface Coverage ____%

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

_____
_____
_____
_____

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters)_ _____ ft.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
___ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way ___ Twp ___ Co. ___ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure	**Proposed Addition(s)**
___Basement	___Basement
___Crawlspace	X Crawlspace
X Walk-out Basement	___Walk-out Basement
___One Story Level	X One Story Level
X Story-and-a-Half Level	___Story-and-a-Half Level
___2nd Story Level	___2nd Story Level

Existing Structure Height ____ ft.	Proposed Addition(s) Height ____ ft.
Existing # of Bedrooms 2	Final # of bedrooms after remodel 3
Existing Building Coverage 1.2 %	Proposed Building Coverage 1.4 %
Existing Total Impervious Surface Coverage 3.1 %	Proposed Total Impervious Surface Coverage 3.3 %

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s): 360 sq.ft Residence Addition

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type 20x 18 Residence Addition

_____ Ordinary High Water Level (OHWL)	Existing Setback _____ft.	Proposed Setback _____ ft.
_____ Property Line	Existing Setback _____ft.	Proposed Setback _____ ft.
_X_ Road Right-of way __ Twp X Co. __ State	Existing Setback 46.7 ft.	Proposed Setback 72.6 ft.
_____ Bluff	Existing Setback _____ft.	Proposed Setback _____ ft.
_____ Other: _____	Existing Setback _____ft.	Proposed Setback _____ ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

_____ Ordinary High Water Level (OHWL)	Proposed Setback _____ ft.
_____ Property Line	Proposed Setback _____ ft.
_____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback _____ ft.
_____ Bluff	Proposed Setback _____ ft.
_____ Other: _____	Proposed Setback _____ ft.

Section 4 – Land Alteration

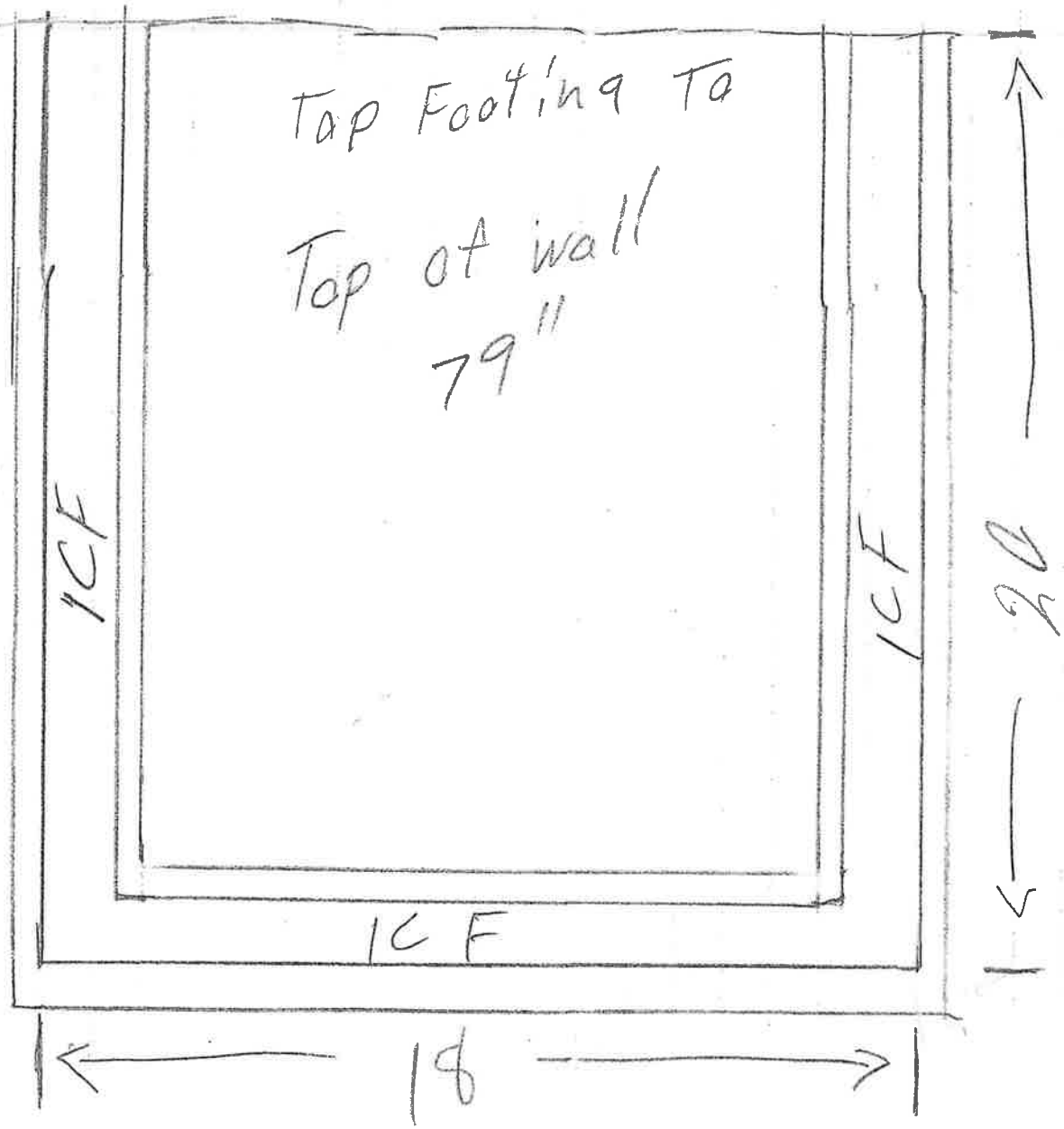
What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

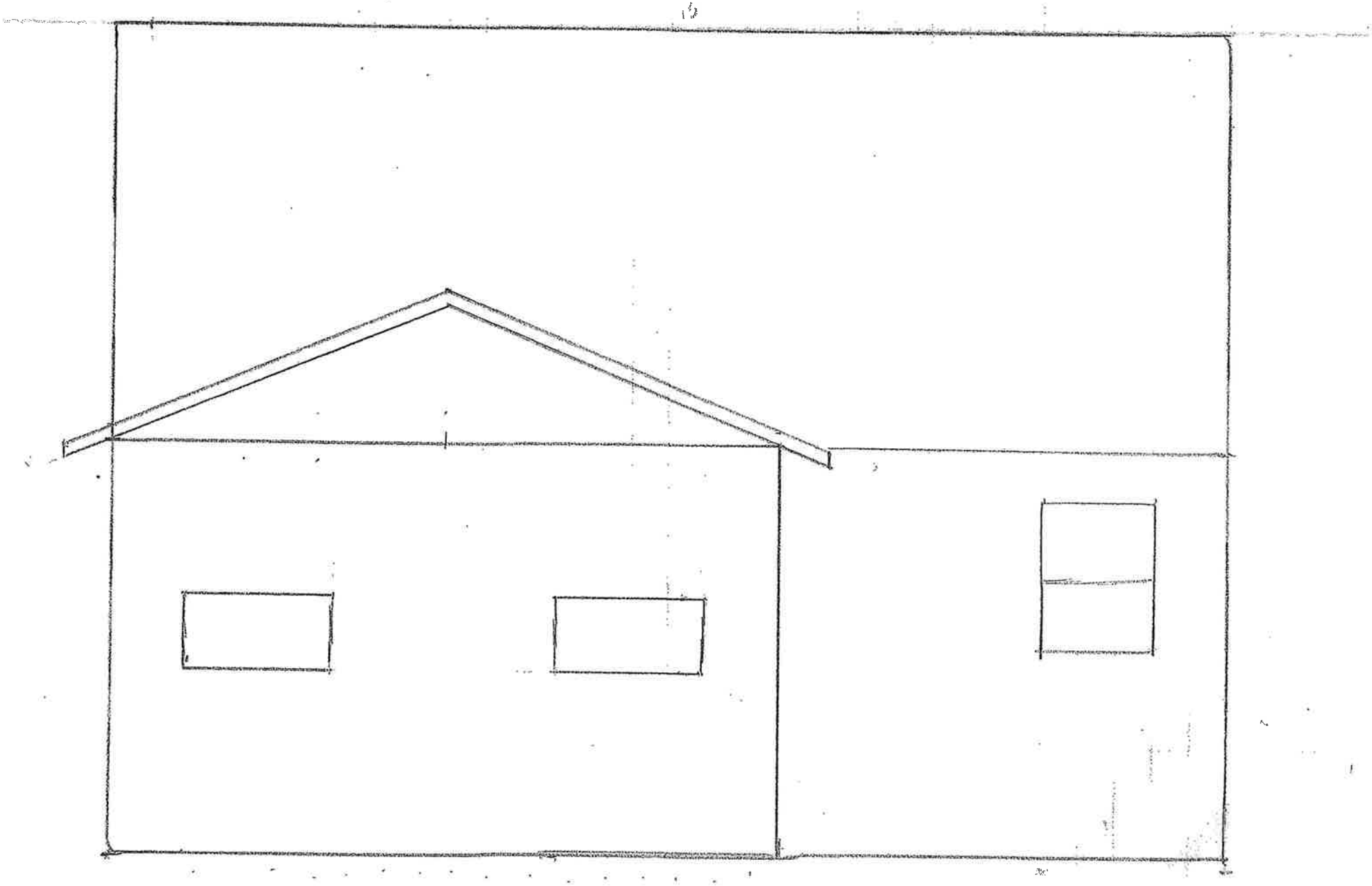
_____More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. _____
_____Other:_____	Total Cubic Yds. _____

Section 5 – Creating Nonconforming Lot(s)

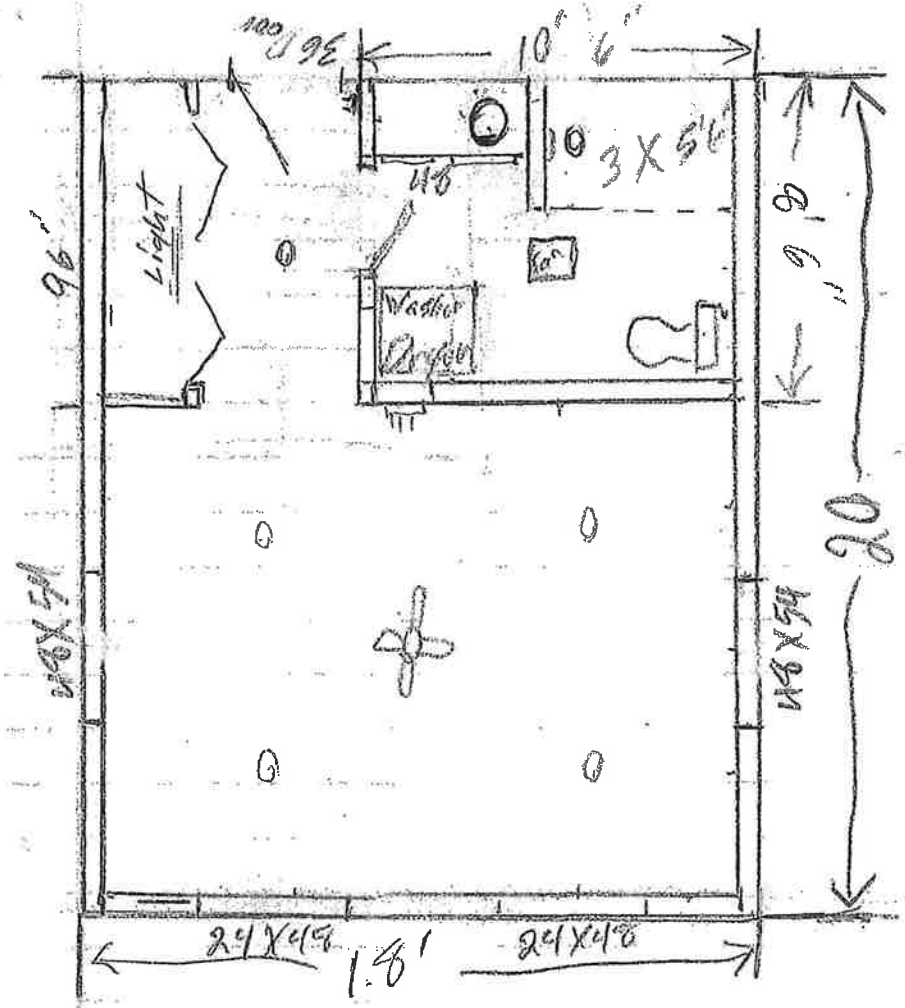
Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

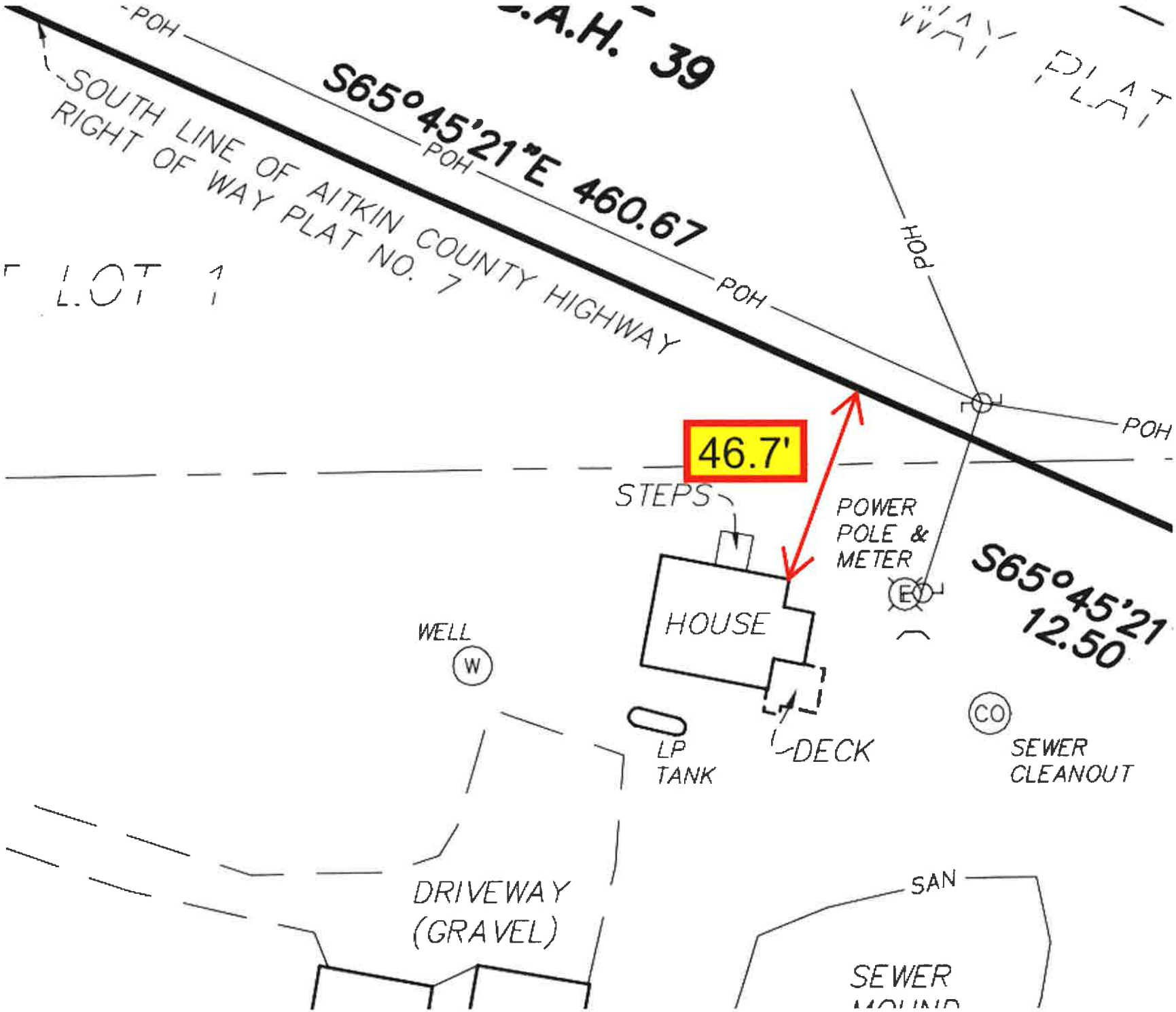
_____ Property Width	Proposed Property Width _____
_____ Property Area	Proposed Property Area _____
_____ (2) Standard Septic Sites	
_____ Legal Access	


Top Footing To
Top of wall
79"
ICF
ICF
ICF
20
18

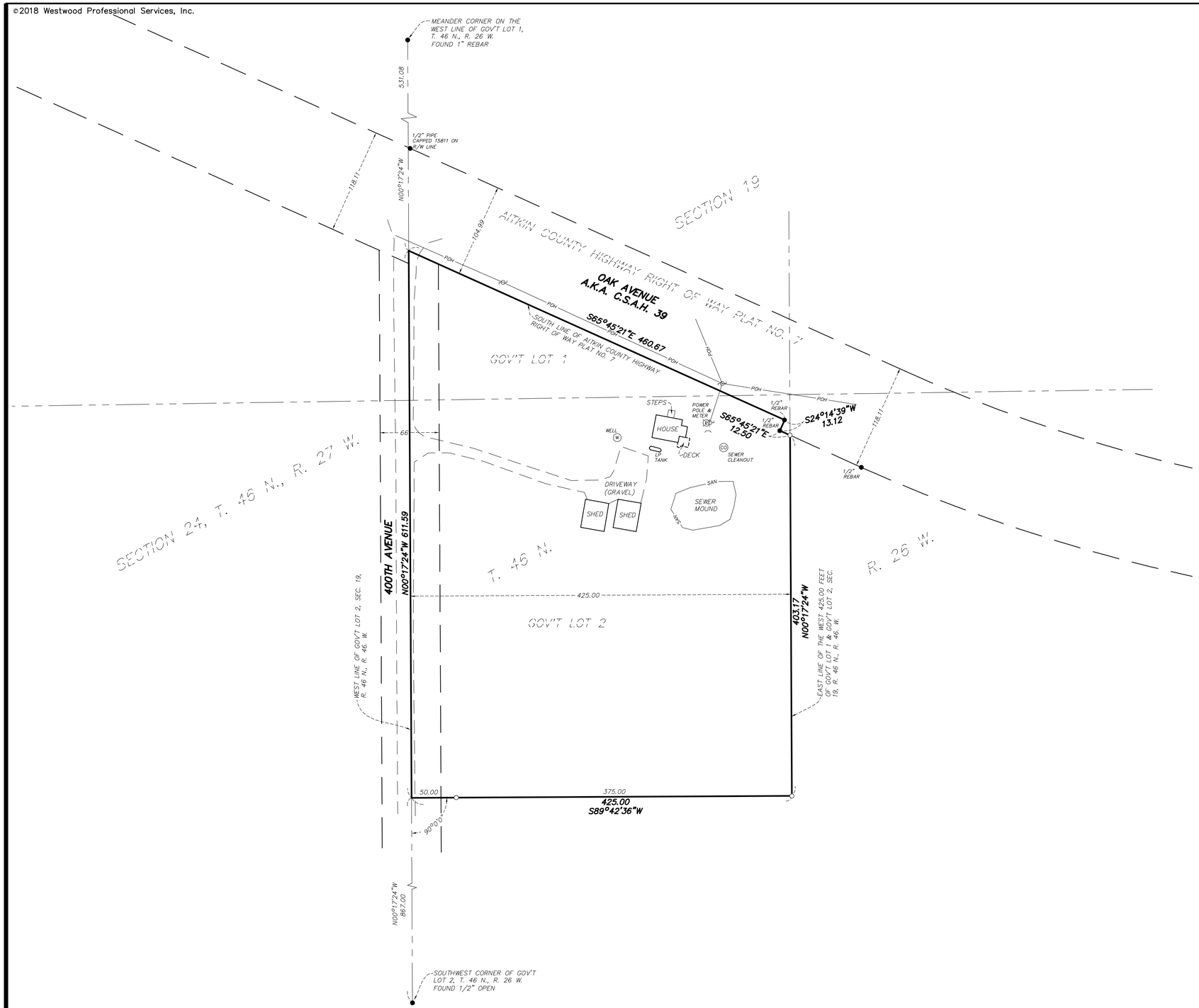


360 sq ft


36 Door
10' 6"
3 X 5'6"
48
Light
96"
Washer
Dryer
Fan
96"
20'
45X84
45X84
24X48
18'
24X48


POH
S.A.H. 39
WAY PLAT
S65°45'21"E 460.67
POH
SOUTH LINE OF AITKIN COUNTY HIGHWAY
RIGHT OF WAY PLAT NO. 7
LOT 1
POH
POH
46.7'
STEPS
POWER
POLE &
METER
E
S65°45'21
12.50
HOUSE
WELL
W
CO
LP
TANK
DECK
SEWER
CLEANOUT
DRIVEWAY
(GRAVEL)
SAN
SEWER

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance



PROPOSED LEGAL DESCRIPTION

That part of the West 425.00 feet of Government Lots 1 and 2 all in Section 19, Township 46 North, Range 26 West of the 5th Principal Meridian, Aitkin County, Minnesota lying south of the south line of Aitkin County Highway Right of Way Plat Number 7, according to the recorded plat thereof, said Aitkin County, and north of the following described line:

Beginning at a point on the west line of said Government Lot 2, distant 867.00 feet north of the southwest corner of said Government Lot 2; thence east, perpendicular to said west line, to the intersection with the east line of said West 425.00 feet of said Government Lots 1 and 2 and said line there terminating.

GENERAL NOTES

1. *This survey was prepared without the benefit of a title commitment. No search for easements or restrictions, recorded or unrecorded, was made by the surveyor.*
2. *Subject property contains 5.02 acres.*
3. *The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.*

N

0 60 120 180

○ DENOTES 1/2" X 14" IRON PIPE SET WITH CAP #45873

Date: 2/18/18 Sheet: 1 OF 1

0013743SURV.dwg

Westwood
Phone (952) 937-5150 12701 Whitewater Drive
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LAND SURVEYOR under the laws of the State of Minnesota.

Nathan H. Carlson
Date: *2/18/18* License No. *45873*

Revisions:

Crew: MS/NC
Checked: TS
Drawn: NC
Record Drawing by/date:

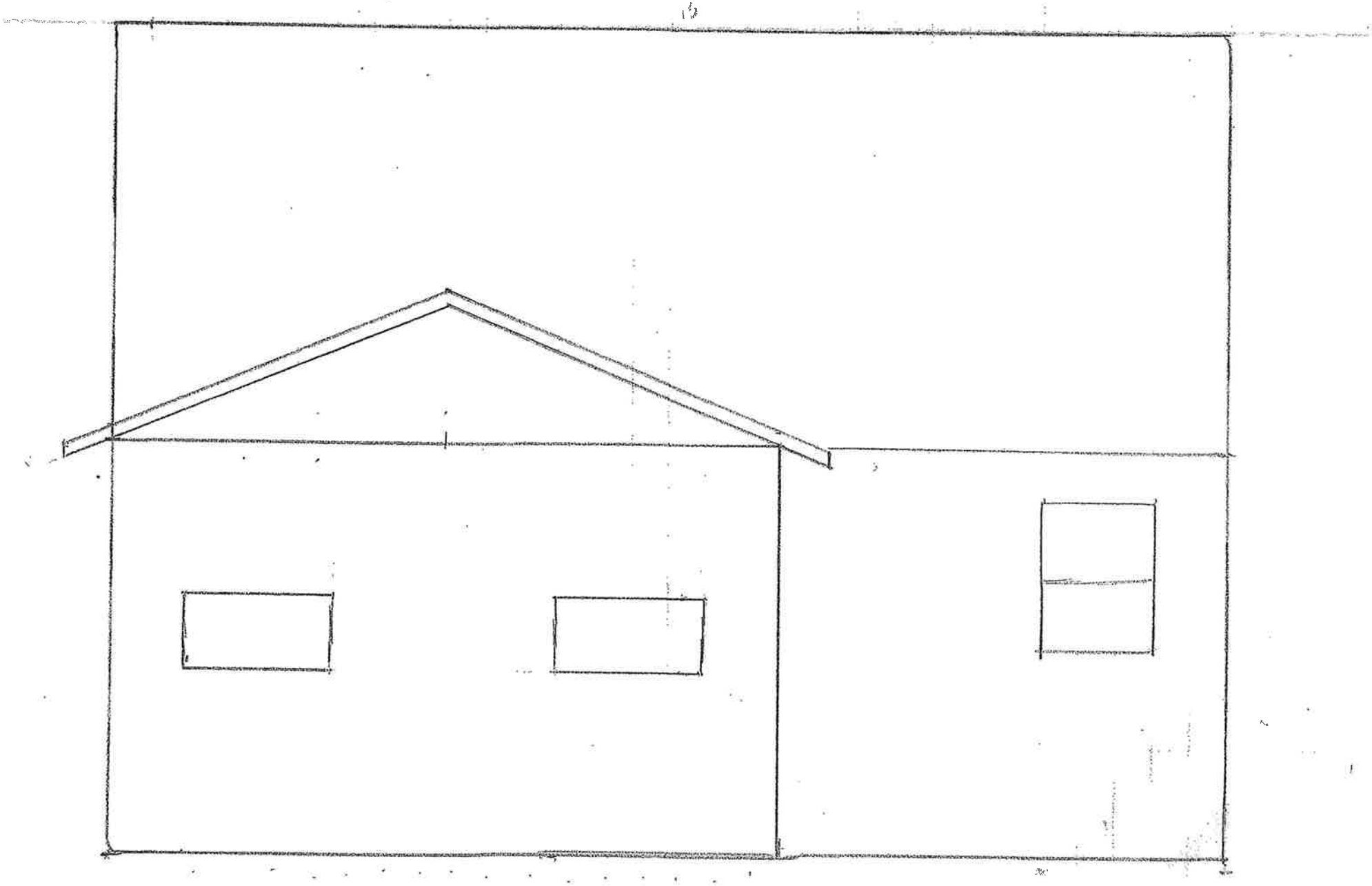
Prepared for:

Jacqueline L. Midthun
Aitkin, Minnesota 56431

Ackley - Ripple Lake

Aitkin County, Minnesota

Certificate of Survey



24-0-037500 | 2024 | *Press Submit/Enter to continue or enter new parcel/tax year.*

Parcel	Account	Asmt year	Tax year
24-0-037500	21897	2023	2024

Primary owner
117298 PENNINGTON, DIANNE E

Hold tax statement

Escrow
38 - COTALITY

Taxpayer
117298 PENNINGTON, DIANNE E

FALCO
1 F.O.

Undeliverable tax address
N

Ref. parcel
00-2-240000375

Dept

Commissioner dist
2

Emergency#

Lake #/Name
1014600 RIPPLE LAKE (NO

TIF district

MH court number

Physical address
30748 400TH AVE
AITKIN MN 56431

TIF knock down date

User defined

Unique Taxing Area

UTA-Township/City
24 NORDLAND TWP

School district
1 ISD 0001 - Aitkin

AMBU **** **** ****
00 00 00 00

State UTA code
25 1 00

Property Description

version 3

Description
PART OF (SW NW) LOT 2 IN DOC 444102

Acres	Lot	Block	Plat - Description
4.20			

Sect/Twp/Range

Parcel	Account	Asmt year	Tax year
24-0-037500	21897	2023	2024

Taxpayer: 117298 FALCO: 1 F.O.

PENNINGTON, DIANNE E

30748 400TH AVE

AITKIN MN 56431

Primary Owner: 117298

PENNINGTON, DIANNE E

30748 400TH AVE

AITKIN MN 56431

Escrow Agent: 38

COTALITY

ATTN: ESCROW REPORTING DFW 4-3

3001 HACKBERRY ROAD

MINNESOTA POLLUTION CONTROL AGENCY

520 Lafayette Road North
St. Paul, MN 55155-4194

Compliance inspection report form

Existing Subsurface Sewage Treatment System (SSTS)

Doc Type: Compliance and Enforcement

Instructions: Inspector must submit completed form to Local Governmental Unit (LGU) and system owner within 15 days of final determination of compliance or noncompliance. Instructions for filling out this form are located on the Minnesota Pollution Control Agency (MPCA) website at https://www.pca.state.mn.us/sites/default/files/wq-wwists4-31a.pdf.

Property information

Local tracking number:

Parcel ID# or Sec/Twp/Range: 24-0-037500 Reason for Inspection: Addition to house

Local regulatory authority info: Aitkin County

Property address: 30748-400th Avenue Aitkin Mn. 56431

Owner/representative: Dianne E. Pennington Owner's phone: 763-439-7834

Brief system description: Mound System

System status

System status on date (mm/dd/yyyy): June 9, 2025

☒ **Compliant – Certificate of compliance***

*(**Valid for 3 years from report date** unless evidence of an imminent threat to public health or safety requiring removal and abatement under section 145A.04, subdivision 8 is discovered or a shorter time frame exists in Local Ordinance.)*

Note: Compliance indicates conformance with Minn. R. 7080.1500 as of system status date above and does not guarantee future performance.

☐ **Noncompliant – Notice of noncompliance**

Systems failing to protect ground water must be upgraded, replaced, or use discontinued within the time required by local ordinance.

An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance or under section 145A.04 subdivision 8.

Reason(s) for noncompliance (check all applicable)

- ☐ Impact on public health (Compliance component #1) – *Imminent threat to public health and safety*
- ☐ Tank integrity (Compliance component #2) – *Failing to protect groundwater*
- ☐ Other Compliance Conditions (Compliance component #3) – *Imminent threat to public health and safety*
- ☐ Other Compliance Conditions (Compliance component #3) – *Failing to protect groundwater*
- ☐ System not abandoned according to Minn. R. 7080.2500 (Compliance component #3) – *Failing to protect groundwater*
- ☐ Soil separation (Compliance component #5) – *Failing to protect groundwater*
- ☐ Operating permit/monitoring plan requirements (Compliance component #4) – *Noncompliant - local ordinance applies*

Comments or recommendations Tank should be pumped every 2 or 3 years in the early summer

Certification

I hereby certify that all the necessary information has been gathered to determine the compliance status of this system. No determination of future system performance has been nor can be made due to unknown conditions during system construction, possible abuse of the system, inadequate maintenance, or future water usage.

***By typing my name below**, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.*

Business name: Tom O'Neil Certification number: 3365

Inspector signature: Tom O'Neil License number: 2132

(This document has been electronically signed) Phone: 218-927-6070 Cell 218-820-2993

Necessary or locally required supporting documentation (must be attached)

☒ Soil observation logs ☐ System/As-Built ☒ Locally required forms ☒ Tank Integrity Assessment ☐ Operating Permit

☐ Other information (list):

Property Address: 30748-400th Ave. Aitkin, Mn. 56431
Business Name: Tom O'Neil Date: June 9, 2025

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:

System discharges sewage to the ground surface	☐ Yes* ☒ No
System discharges sewage to drain tile or surface waters.	☐ Yes* ☒ No
System causes sewage backup into dwelling or establishment.	☐ Yes* ☒ No

Any "yes" answer above indicates the system is an imminent threat to public health and safety.

Attached supporting documentation:

☐ Other:

☐ Not applicable

Describe verification methods and results:
Everything looked good + Home Owner said everything works Fine

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:

System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	☐ Yes* ☒ No
Sewage tank(s) leak below their designed operating depth?	☐ Yes* ☒ No
If yes, which sewage tank(s) leaks:	

Any "yes" answer above indicates the system is failing to protect groundwater.

Attached supporting documentation:

☒ Empty tank(s) viewed by inspector

Name of maintenance business: Timberlakes

License number of maintenance business: L455

Date of maintenance: 6/9/2025

☐ Existing tank integrity assessment (Attach)

Date of maintenance (mm/dd/yyyy): (must be within three years)

(See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))

☐ Tank is Noncompliant (pumping not necessary – explain below)

☐ Other:

Describe verification methods and results:

Property Address: 30748-400th Ave. Aitkin, Mn. 56431
Business Name: Tom O'Neil Date June 9, 2023

3. Other compliance conditions – Compliance component #3 of 5

3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?

☐ Yes* ☒ No ☐ Unknown

3b. Other issues *(electrical hazards, etc.)* to immediately and adversely impact public health or safety? ☐ Yes* ☒ No ☐ Unknown

Yes to 3a or 3b - System is an imminent threat to public health and safety.

3c. System is non-protective of ground water for other conditions as determined by inspector? ☐ Yes* ☒ No

3d. System not abandoned in accordance with Minn. R. 7080.2500? ☐ Yes* ☒ No

Yes to 3c or 3d - System is failing to protect groundwater.

Describe verification methods and results:
everything too Red good

Attached supporting documentation: ☐ Not applicable ☐

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 ☒ Not applicable

Is the system operated under an Operating Permit? ☐ Yes ☒ No **If "yes", A below is required**

Is the system required to employ a Nitrogen BMP specified in the system design? ☐ Yes ☒ No **If "yes", B below is required**

BMP = Best Management Practice(s) specified in the system design

If the answer to both questions is "no", this section does not need to be completed.

Compliance criteria:

a. Have the operating permit requirements been met? ☐ Yes ☐ No

b. Is the required nitrogen BMP in place and properly functioning? ☐ Yes ☐ No

Any "no" answer indicates noncompliance.

Describe verification methods and results:

Attached supporting documentation: ☐ Operating permit (Attach) ☐

Property Address: 30748-400th Ave. Aitkin, Mn. 56431
Business Name: Tom O'Neil
Date June 9, 2025

5. Soil separation – Compliance component #5 of 5

Date of installation 8-24-1994 (mm/dd/yyyy) ☐ Unknown
M. Johnson Instal

Shoreland/Wellhead protection/Food beverage lodging? ☒ Yes ☐ No

Compliance criteria (select one):

5a. *For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment:* Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.	☐ Yes	☐ No*
5b. *Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment:* Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*	☒ Yes	☐ No*
5c. *"Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080. 2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day)* Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.	☐ Yes	☐ No*

**Any "no" answer above indicates the system is failing to protect groundwater.*

Describe verification methods and results:

Attached supporting documentation:

☐ Soil observation logs completed for the report
☐ Two previous verifications of required vertical separation
☐ Not applicable (No soil treatment area)
☒ Soils from my previous inspection

Indicate depths or elevations

A. Bottom of distribution media	15" min.
B. Periodically saturated soil/bedrock	18"
C. System separation	33" min.
D. Required compliance separation*	31"

*May be reduced up to 15 percent if allowed by Local Ordinance.

Upgrade requirements: *(Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.*

MINNESOTA POLLUTION CONTROL AGENCY

520 Lafayette Road North
St. Paul, MN 55155-4194

Sewage tank integrity assessment form

Subsurface Sewage Treatment Systems (SSTS) Program

Doc Type: Compliance and Enforcement

Purpose: This form *may* be used to certify the compliance status of the sewage tank components of the SSTS. **This form is not a complete SSTS inspection report, only a tank integrity assessment, and may only certify sewage tank compliance status when entirely completed and signed by a qualified professional.** SSTS compliance inspection report forms can be found at: https://www.pca.state.mn.us/water/inspections.

Instructions: This form may be completed, and signed, by a Designated Certified Individual (DCI) of a licensed SSTS inspection, maintenance, installation, or service provider business who personally conducts the necessary procedures to assess the compliance status of each sewage tank in the system. Only a licensed maintenance business is authorized to pump the tank for assessment. A copy of this information should be submitted to the system owner and be maintained by the licensed SSTS business for a period of five (5) years from the assessment date.

When this form is signed by a qualified certified professional, it becomes *necessary supporting documentation* to an Existing System Compliance Inspection Report: Compliance inspection form - Existing system (wq-wwists4-31b). This form can be found on the MPCA website at https://www.pca.state.mn.us/water/inspections.

The information and certified statement on this form is **required** when existing septic tank compliance status is determined by an individual other than the SSTS Inspector that submits an inspection report. This form represents a third party assessment of SSTS component compliance and is allowable under Minn. R. 7082.0700, subp. 4(B)(1). This form is valid for a period of three years beyond the signature date on this form unless a new evaluation is requested by the owner or owner's agent or is required according to local regulations. Additional Administrative Rule references for this activity can be found at Minn. R. 7082.0700, subp. 4(B),(C), and (D) and; Minn. R. 7083.0730(C).

Owner information

Owner/Representative: Pennington, Dianne

Property address: 30748 400th Ave, Aitkin, MN 56431

Local Regulatory Authority: Aitkin County Parcel ID: 24-0-037500

System status

System status on date (mm/dd/yyyy): 6/9/2025

☒ **Certificate of sewage tank compliance** ☐ **Notice of sewage tank non-compliance**

Compliance criteria:

The SSTS has a seepage pit, cesspool, drywell, leaching pit, or other pit - "**Failure to Protect Groundwater.**"	☐ Yes* ☒ No
The SSTS has a sewage tank that leaks below the designed operating depth - "**Failure to Protect Groundwater.**"	☐ Yes* ☒ No
The SSTS presents a threat to public safety by reason of structurally unsound (damaged, cracked, or weak) maintenance hole cover(s) or lids or any other unsafe condition - "**Imminent Threat to Public Health or Safety.**"	☐ Yes* ☒ No

Any "yes" answer above indicates sewage tank non-compliance.

Company information

Company name: Timber Lakes Septic Service Inc

Business license number: L455

Designated Certified Individual (DCI) information

Print name: Dan Peters

Certification number: C10183

I personally conducted the work described above as a Designated Certified Individual of a Minnesota-licensed SSTS inspection, maintenance, installation, or service provider Business. I personally conducted the necessary procedures to assess the compliance status of each sewage tank in this SSTS.

***By typing/signing my name below**, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.*

Designated Certified Individual's signature: Dan Peters Date (mm/dd/yyyy): 6/9/2025

(This document has been electronically signed.)

SOILS CHARTS FOR BOTH PROPOSED AND ALTERNATE SITES

1 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-4	loam	10yr 3/2
4-7	Sandyloam	10yr 3/4
7-20	Loam	7.5yr 4/4-4/6
20-25	Siltyloam	7.5yr 4/4
mottles at 18"		

2 (PROPOSED) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-3	Loam	10yr 3/2
3-14	Sandyloam	10yr 4/4
14-20	Loam	10yr 4/6
20-26	Silty loam	10yr 4/6
Mottles at 19"		

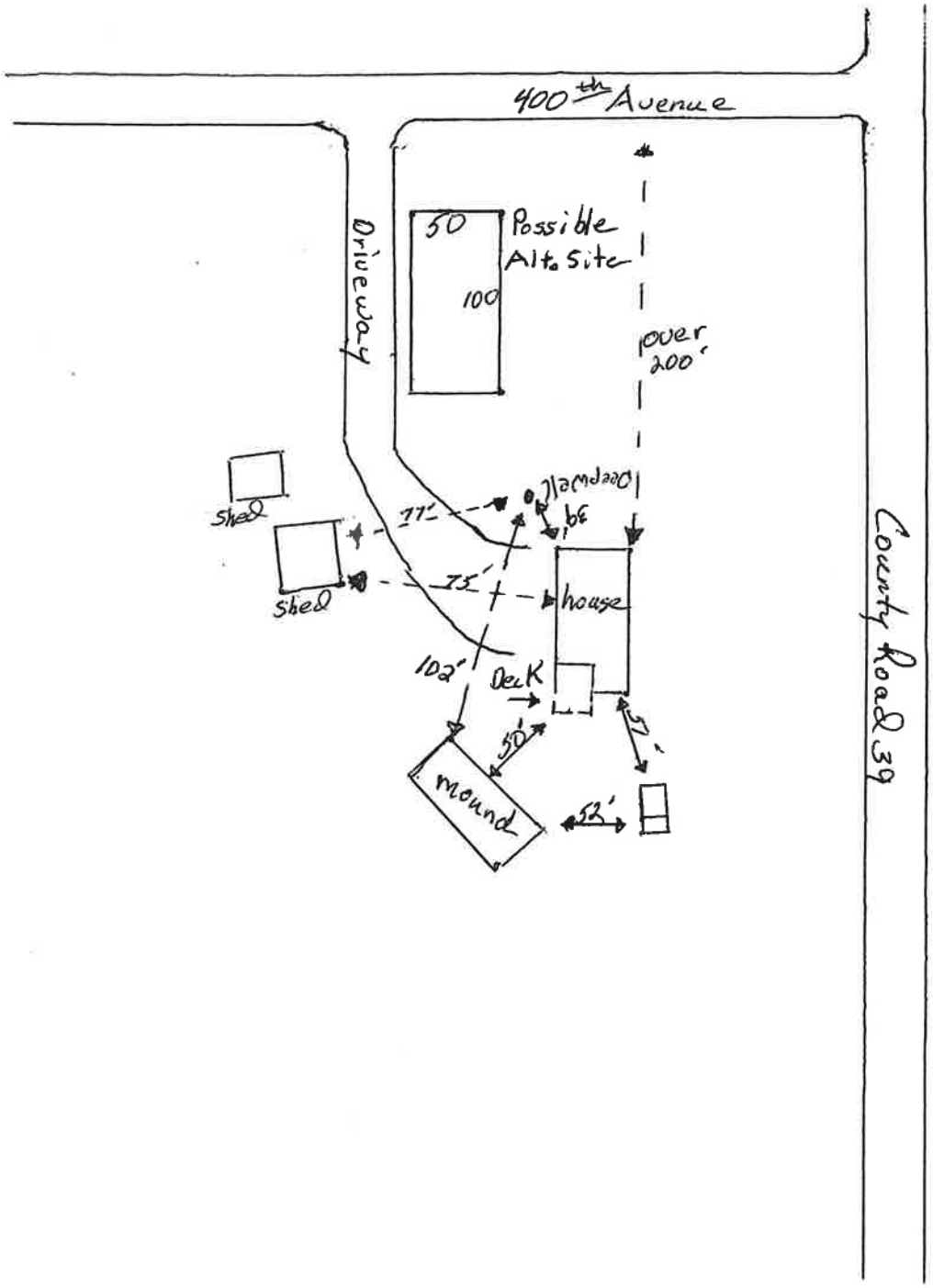
1 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-4	Loam	10yr 3/2
4-12	Sandyloam	10yr 3/4
12-16	Sandy Loam	10yr 4/3
Too rocky for auger below 16"		

2 (ALTERNATE) SOILS DATA

DEPTH (INCHES)	TEXTURE	MUNSELL COLOR
0-9	Loam	10yr 3/2
9-13	Loam	10yr 3/4
13-18	Loam	10yr 4/4
18-24	Siltyloam	7.5yr 4/4
Mottles at 18"		

ADDITIONAL SOIL BORINGS MAY BE REQUIRED


400th Avenue
Driveway
50
100
Possible
Alt. Site
over
200'
Shed
Shed
77'
75'
Overhead
be
house
102'
Deck
50'
37'
mound
53'
County Road 39

NO DELINQUENT TAXES
AND TRANSFER ENTERED
This 7 Day Mar 2018
Kirk Peysar
County Auditor
Elizabeth Harmon
Deputy

A444102

Office of the County Recorder
Aitkin County, Minnesota

I HEREBY CERTIFY THE WITHIN INSTRUMENT WAS FILED, AND/OR RECORDED ON 3/7/2018 9:00 AM

PACKAGE: 57813 REC FEE: $96.00

Well Certificate: YES

Michael T. Moriarty, Aitkin County Recorder

½
WC

CERTIFICATE OF REAL ESTATE VALUE (✓) FILED ( ) NOT REQUIRED CERTIFICATE OF REAL ESTATE VALUE NO 45352

WARRANTY DEED
Individual(s) to Individual(s)

eCRV Number: 781598

Deed Tax Due: $396.00 DATE: March 5, 2018

FOR VALUABLE CONSIDERATION, Barry T. Ackley, a single person, Albert Craig Ackley and Michele L. Ackley, spouses, married to each other, Jacqueline L. Midthun and Allen Midthun, spouses, married to each other, and Cynthia A. Raynor and Gary H. Raynor, spouses, married to each other ("Grantor"), hereby conveys and warrants to Dianne E. Pennington ("Grantee").

Real property in Aitkin County, Minnesota, legally described as follows:

That part of the West 425.00 feet of Government Lots One (1) and Two (2) all in Section Nineteen (19), Township Forty-six (46) North, Range Twenty-six (26) West of the 5th Principal Meridian, Aitkin County, Minnesota lying south of the south line of Aitkin County Highway Right of Way Plat Number 7, according to the recorded plat thereof, said Aitkin County, and north of the following described line:

Beginning at a point on the west line of said Government Lot 2, distant 867.00 feet north of the southwest corner of said Government Lot 2; thence east, perpendicular to said west line, to the intersection with the east line of said West 425.00 feet of said Government Lots 1 and 2 and said line there terminating.

EXCEPT

Parcel Nos. 33 and 34 as per Aitkin County Highway Right of Way Plat No. 7 on S.A.P. 01-639-01 C.S.A.H. No. 39.

Toegether with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:

Reservations, restrictions and easements of record, if any.

☐ The Seller certifies that the Seller does not know of any wells on the described real property.

☒ A well disclosure certificate accompanies this document.

☐ I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Barry T. Ackley

Barry T. Ackley

Albert Craig Ackley

Albert Craig Ackley

Michele L. Ackley

Jacqueline L. Midthun

Jacqueline L. Midthun

Allen Midthun

Allen Midthun

Cynthia A. Raynor

Cynthia A. Raynor

Gary H. Raynor

Gary H. Raynor

State of Minnesota, County of Aitkin

This instrument was acknowledged before me on March 5, 2018, by Barry T. Ackley, a single person, Albert Craig Ackley and Michele L. Ackley, spouses, married to each other, Jacqueline L. Midthun and Allen Midthun, spouses, married to each other, and Cynthia A. Raynor and Gary H. Raynor, spouses, married to each other.

AMANDA T. MCCARTAN
NOTARY PUBLIC - MINNESOTA
My Comm. Exp. Jan. 31, 2022

Amanda McCartan
(signature of notarial officer)

Title: Closing Agent

My commission expires: 1-31-2022

THIS INSTRUMENT WAS DRAFTED BY:
Aitkin County Abstract Company
112 3rd Street NW
Aitkin, MN 56431
Atm
File No. 00030371

TAX STATEMENTS SHOULD BE SENT TO:
Dianne E. Pennington
30748 400th Ave.
Aitkin, MN 56431

AITKIN COUNTY DEED TAX

No 1910 **Date** 3-7-18

396.00 **Dollars Paid**

Lori Grams
COUNTY TREASURER

By [illegible] **Deputy**

Property Location

Property:	**Property Location**								**Property Attributes**	
	Parcel Number	**Property Address**	**Township or City Name**	**Owner Name(s)**	**Taxpayer Name(s)**	**Legal Description**	**Plat Name**	**Section-Township-Range**	**Lake Class**	**Lake Name**
	07-0-059300	29389 427th Ave AITKIN, MN 56431	FARM ISLAND TWP	KORZENOWSKI, JAMIE & AMY	KORZENOWSKI, JAMIE & AMY	PART OF LOT 5 IN DOC 441628		S:27 T:46 R:27	RD	LITTLE PINE LAKE (FARM ISLAND TWP)
Driving directions to the proposed project from Aitkin:	169 south to 427th ave - take a right - follow to 29389 right turn into property drive									
Is the above parcel located in the Shoreland Zoning District?	Yes									

Detailed Narrative

Enter a Detailed Narrative (If you have a prepared narrative please state "See attached" and attach the document below):	We are proposing to remove an existing attached garage 20x24 and replace with a new single level 30 x 42 ft garage and update siding on the entire structure (net increase of 780 sq ft with new structure). In addition, adding trusses over top of flat roof on single level home to provide more practicality in a winter environment, as well as address ongoing issue with getting new home insurance bids due to flat roof. The closest part of existing structure is outside 50 ft of the shore impact zone, as well as the actual construction location is over 100 ft away. Lastly, neighbors on both sides are aligned with our current home structure or closer to the lake, thus not impeding their views.
Attach prepared narrative here:	File 1: 8.8.25_-_Korzenowski_Updated_Drawings_porch_removed.pdf File 2: Korzenowski-Bid-Construction_set_7-21-25.pdf
Provide the Ordinance(s) and the Section(s) of the Ordinance(s) from which you are requesting a variance:	Aitkin County Shoreland Management Ordinance Section 5.21
Are you requesting a variance to a road right-of-way setback in one of these Townships? Fleming, Glen, Lakeside, Pliny, Shamrock, Wagner	No

Supplemental Data

Attach completed form here:	File 1: 8.8.25_-_Korzenowski_Updated_Supplemental_Data_v2.pdf

A Scaled Drawing or Survey

Scaled Drawing or Survey Checklist:	Location and dimensions for all lot lines. Location and dimensions of all existing and proposed structures/additions. Location and depth of all existing and proposed wells within 100 feet of the property. Location and dimensions of all existing and proposed septic system components (septic tank, septic drainfield). Location and dimensions of all existing and proposed driveways, road right-of-ways, and easements. If topography is unusual, show elevations and location of bluffs, steep slopes, wetlands, etc. Indicate all setback distances for items listed above: ordinary high water level of lakes or rivers, lot lines, road right-of-ways, etc.
Attach a Scaled Drawing or Survey:	File 1: 2025-52_COS-22X34.pdf

Certificate of Septic Compliance

Please attach a copy of one of the following: - A current compliance inspection on the existing septic system. - A design for a new/replacement septic system.	File 1: COC_-_29389_427th_Ave_Septic.pdf

Shoreland Performance Worksheet

Complete the Shoreland Performance Worksheet and attach here:	File 1: 8.1.25_Korzenowski_Shoreline_Revised.pdf

Standard Erosion Control Plan

Attach the completed Standard Erosion Control Plan here:	File 1: 7.31.25_-_Korzenowski_Erosion.pdf File 2: 7.31.25_-_Korzenowski_Management.pdf

Property Deed

Attach the property deed(s):	File 1: 7.31.25_-_Korzenowski_Deed.pdf

Terms

General Terms

The landowner or authorized agent hereby certifies that to the best of their knowledge the application and supporting documents are a factual representation of the proposed project. The landowner or authorized agent agrees that, in making application, the landowner grants permission to Aitkin County, at reasonable times, to enter the property to determine compliance of the application with applicable Local, County or State Ordinances or Statutes. It is the applicant's responsibility to contact other Local, County or State agencies to ensure the applicant has complied with all relevant Local, County or State Ordinances or Statutes.
Submittal of the above materials does not always constitute a complete application. Other information may be necessary to complete the application based on the type of request and onsite inspection.
I acknowledge that by submitting this application, the application and its attachments are public information.

Invoice #63540 (07/31/2025) Expected Payment Method: Pay Online - Card or ECheck

Charge	Cost	Quantity	Total
Recording Fee added 07/31/2025 6:49 PM $46 Flat Fee	$46.00	x 1	$46.00
Variance added 07/31/2025 6:49 PM $650 Flat Fee	$650.00	x 1	$650.00
Grand Total			
		Total	**$696.00**
		Payment 07/31/2025	**$696.00**
		Due	**$0.00**

Results (Go to top)
Signature accepted
Failed to send Variance Ready for Action notification to:

Approvals

Approval	Signature
Applicant	Amy Korzenowski - 08/08/2025 4:30 PM 32d619dc2508b8b4414e72c7daccc4b3 b3f2acb78fd051f8648fcf58998b6ad3
#1 Administrative Review	Kim Burton - 08/11/2025 8:51 AM 84fa6351fc1d81e36b478db514438bd9 d67e8a94a1c866648a10481ab6bfa8a7
#2 Board of Adjustment Approval	

Public Notes

Text:	
File(s):	

Admin Checklist

This review has been started by:	Kim Burton
Zoning District of project location:	Shoreland
Project located in the floodplain?	No
Is the parcel a Lot of Record before 1-21-92 or have alternate sites been identified?	Yes
Is this an after-the-fact application?	No

Numbers

	Current Number	Next from Sequence
UID #	214537	*not applicable*
App. #	2025-000654	«« 2025-000686
Permit #		«« 2025-0550

Print View

CERTIFICATE OF SURVEY

PART OF GOVERNMENT LOT 5 OF SECTION 27, TOWNSHIP 46 NORTH, RANGE 27 WEST, AITKIN COUNTY, MINNESOTA

Impervious Surface

Existing
House & Attached Garage = 2,197 sq. ft.
Garage = 480 sq. ft.
Shed = 336 sq. ft.
Driveways = 5,590 sq. ft.
Concrete Areas = 741 sq. ft.
Septic System = 760 sq. ft.

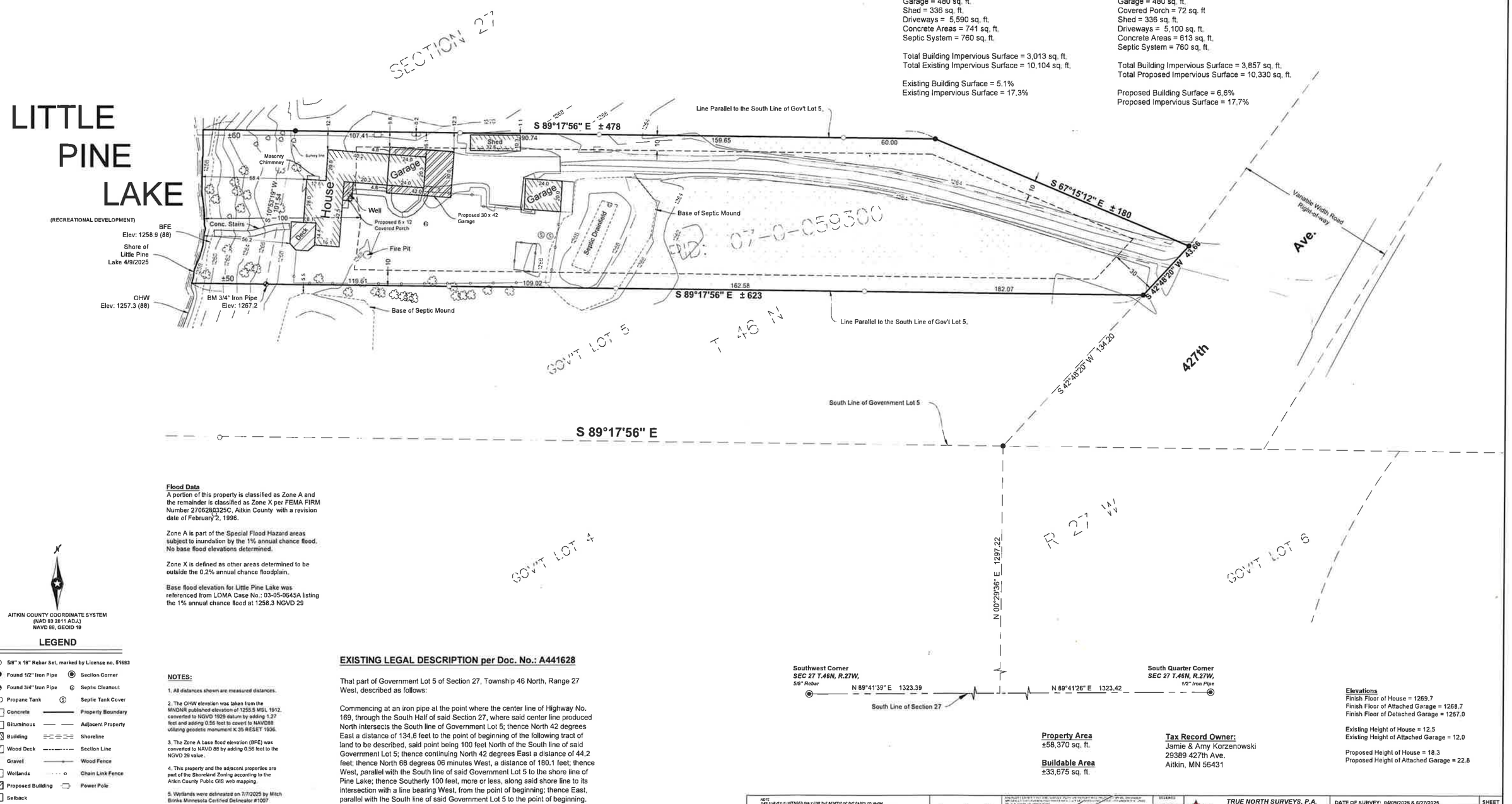
Total Building Impervious Surface = 3,013 sq. ft.
Total Existing Impervious Surface = 10,104 sq. ft.

Existing Building Surface = 5.1%
Existing Impervious Surface = 17.3%

Proposed
House & Attached Garage = 2,969 sq. ft.
Garage = 480 sq. ft.
Covered Porch = 72 sq. ft
Shed = 336 sq. ft.
Driveways = 5,100 sq. ft.
Concrete Areas = 613 sq. ft.
Septic System = 760 sq. ft.

Total Building Impervious Surface = 3,857 sq. ft.
Total Proposed Impervious Surface = 10,330 sq. ft.

Proposed Building Surface = 6.6%
Proposed Impervious Surface = 17.7%



Flood Data
A portion of this property is classified as Zone A and the remainder is classified as Zone X per FEMA FIRM Number 27062C0325C, Aitkin County with a revision date of February 2, 1996.

Zone A is part of the Special Flood Hazard areas subject to inundation by the 1% annual chance flood. No base flood elevations determined.

Zone X is defined as other areas determined to be outside the 0.2% annual chance floodplain.

Base flood elevation for Little Pine Lake was referenced from LOMA Case No.: 03-05-0545A listing the 1% annual chance flood at 1258.3 NGVD 29

AITKIN COUNTY COORDINATE SYSTEM
(NAD 83 2011 ADJ.)
NAVD 88, GEOID 18

LEGEND

- 5/8" x 18" Rebar Set, marked by License no. 51693
- Found 1/2" Iron Pipe
- Found 3/4" Iron Pipe
- Section Corner
- Septic Cleanout
- Propane Tank
- Septic Tank Cover
- Concrete
- Property Boundary
- Bituminous
- Adjacent Property
- Building
- Shoreline
- Wood Deck
- Section Line
- Gravel
- Wood Fence
- Wetlands
- Chain Link Fence
- Proposed Building
- Power Pole
- Setback

NOTES:

1. All distances shown are measured distances.
2. The OHW elevation was taken from the MNDNR published elevation of 1255.5 MSL 1912, converted to NGVD 1929 datum by adding 1.27 feet and adding 0.56 feet to covert to NAVD88 utilizing geodetic monument K 35 RESET 1936.
3. The Zone A base flood elevation (BFE) was converted to NAVD 88 by adding 0.56 feet to the NGVD 29 value.
4. This property and the adjacent properties are part of the Shoreland Zoning according to the Aitkin County Public GIS web mapping.
5. Wetlands were delineated on 7/7/2025 by Mitch Binke Minnesota Certified Delineator #1007

EXISTING LEGAL DESCRIPTION per Doc. No.: A441628

That part of Government Lot 5 of Section 27, Township 46 North, Range 27 West, described as follows:

Commencing at an iron pipe at the point where the center line of Highway No. 169, through the South Half of said Section 27, where said center line produced North intersects the South line of Government Lot 5; thence North 42 degrees East a distance of 134.6 feet to the point of beginning of the following tract of land to be described, said point being 100 feet North of the South line of said Government Lot 5; thence continuing North 42 degrees East a distance of 44.2 feet; thence North 68 degrees 06 minutes West, a distance of 180.1 feet; thence West, parallel with the South line of said Government Lot 5 to the shore line of Pine Lake; thence Southerly 100 feet, more or less, along said shore line to its intersection with a line bearing West, from the point of beginning; thence East, parallel with the South line of said Government Lot 5 to the point of beginning.

Property Area
±58,370 sq. ft.

Buildable Area
±33,675 sq. ft.

Tax Record Owner:
Jamie & Amy Korzenowski
29389 427th Ave.
Aitkin, MN 56431

Elevations
Finish Floor of House = 1269.7
Finish Floor of Attached Garage = 1268.7
Finish Floor of Detached Garage = 1267.0

Existing Height of House = 12.5
Existing Height of Attached Garage = 12.0

Proposed Height of House = 18.3
Proposed Height of Attached Garage = 22.8

NOTE
THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE WITHOUT FIRST CONTACTING THE SURVEYOR WHO DEVELOPED AND MADE THE DRAWING. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED

SCALE 1"=50' FEET

NAD JACOB M. BACHOWSKI DATE

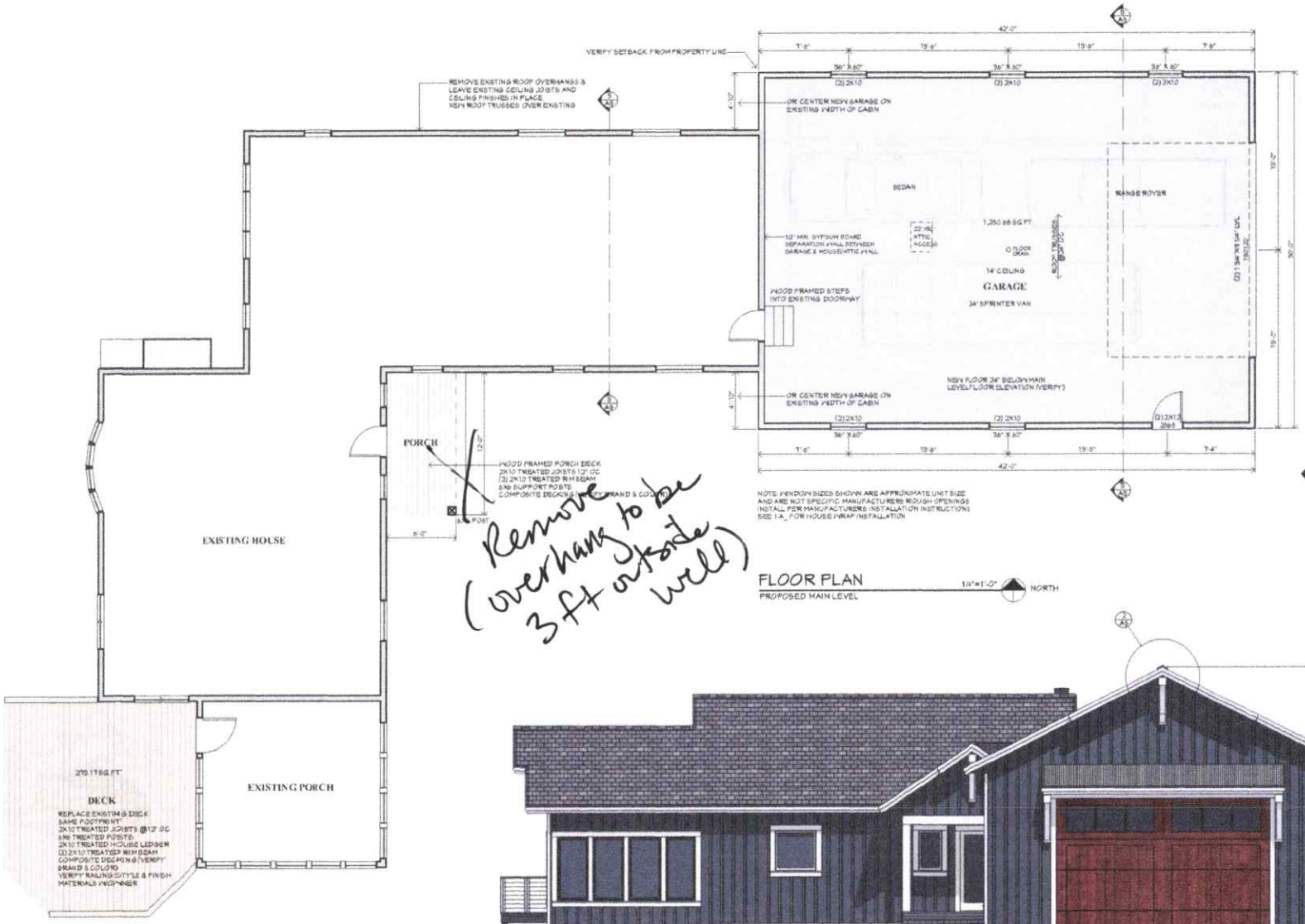
DESIGNED
DRAWN JHK
CHECKED JAW

TRUE NORTH SURVEYS, P.A.
10143 GILBERT TRAIL
BRAINERD MN 56401
Phone 320-266-0157

DATE OF SURVEY: 04/09/2025 & 6/27/2025
JOB #: 2025-52
CLIENT: JAMIE & AMY KORZENOWSKI

SHEET 1 OF 1

Update - Porch removed



PLAN DATE: 7/21/25

PROJECT #: 2025016

DRAWN BY: Daniel J Heid

Dan J. Heid - Planning & Design LLC

Designers of Unique Homes & Creative Solutions

PROJECT NAME

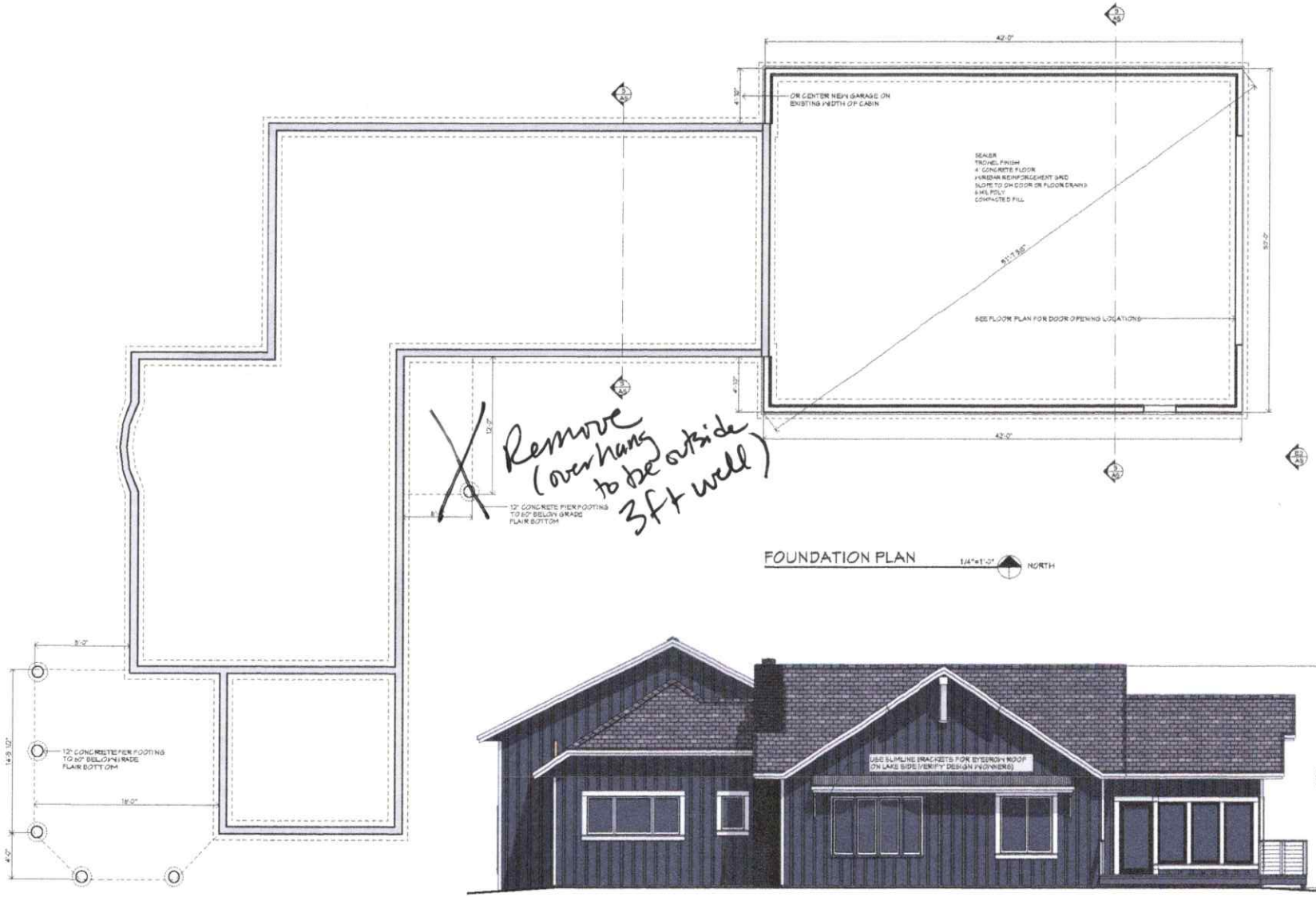
KORZENOWSKI

LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET

A5

Update - porch removed



FOUNDATION PLAN 1/4"=1'-0" NORTH

ELEVATION 1/4"=1'-0"
VIEW FROM WEST

PLAN DATE: 1/21/25
PROJECT #: 202505
DRAWN BY:

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
23463 Grenada Road, Finlayson, MN 55735 Phone: 320-630-1740
dan@djheidplanning.com www.djheidplanning.com

PROJECT NAME
KORZENOWSKI
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET
A4

GENERAL PLAN NOTES & CONDITIONS

THESE NOTES AND PLANS ARE INTENDED TO PROVIDE GENERAL INFORMATION FOR BIDDING AND CONSTRUCTION AND ARE NOT INTENDED TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL PROVIDE LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE THE OWNER'S PROJECT BASED ON, BUT NOT LIMITED TO THE PLANS AND SPECIFICATIONS.
THE OWNERS SHALL REVIEW ALL NOTES AND PLANS TO MAKE CERTAIN THEY ADEQUATELY REPRESENT THEIR NEEDS.
THE CONTRACTOR SHALL REVIEW ALL NOTES AND PLANS BEFORE, AS WELL AS DURING CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES OR ERRORS TO THE ATTENTION OF THE DESIGNER FOR CORRECTION OR FURTHER STUDY.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THIS BUILDING AND ALSO FOR BUILDING WITHIN THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, THE MINNESOTA STATE BUILDING CODE, THE MINNESOTA STATE ENERGY CODE AND ALL APPLICABLE LOCAL CODES.
THE CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND DETAILS WITH ON-SITE CONDITIONS PRIOR TO THE START OF THE PROJECT.
THE CONTRACTOR SHALL BE LICENSED UNDER THE LAWS OF THE STATE OF MINNESOTA, AND SHALL CARRY THE PROPER INSURANCE TO PROTECT THE OWNER FROM ANY LIABILITY OR LOSS. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH LIEN WAIVERS AFTER EACH PAYMENT HAS BEEN MADE.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CLEAN BUILDING SITE DURING THE PROGRESS OR WORK, AND ALSO FOR CLEAN UP AND HAULING AWAY OF DEBRIS RELATING TO HIS PORTION OF THE WORK. THE CONTRACTOR SHALL SWEEP AND REMOVE DEBRIS FROM THE JOB SITE AFTER EACH DAY'S WORK.
IN REMODELING SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF DESIGNATED AREAS OF THE EXISTING HOUSE TO ACCOMMODATE THE NEW DESIGN. THE CONTRACTOR SHALL SAVE AND KEEP IN GOOD CONDITION ANY EXISTING ITEMS WHICH ARE TO BE REUSED.
3D VIEWS AND COLORS SHOWN ON DRAWINGS ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL COLORS OF MATERIALS CHOSEN MAY DIFFER. COLORS ARE MOST ACCURATE WHEN VIEWING ON APPLE IPAD, IPHONE AND IMAC DISPLAYS.

01-GENERAL CONDITIONS
ALL PORTIONS OF THE BUILDING SHALL BE CONSTRUCTED PLUMB, LEVEL AND SQUARE UNLESS OTHERWISE NOTED ON THE PLANS.
ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF THE WALL STUD LINE. INTERIOR DIMENSIONS ARE FROM THE FACE OF ROUGH FRAMING. EXTERIOR WALLS ARE 5 1/2" - 2X6 CONSTRUCTION, INTERIOR WALLS ARE 3 1/2" - 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED ON PLAN.
ALL ANGLES ON THE PLAN ARE 45 DEGREE UNLESS NOTED OTHERWISE ON PLAN.
WRITTEN DIMENSIONS ON PLAN SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

02-SITE WORK
FINISHED GRADING (5% MINIMUM) SHALL BE SLOPED TO ENSURE PROPER DRAINAGE AWAY FROM THE HOUSE. THE SLOPE OF THE FINISHED GRADE LINE AS SHOWN ON THE DRAWINGS IS ASSUMED AT THE TIME OF DESIGN AND MAY BE DIFFERENT THAN THE FINISHED GRADE LINE AT THE SITE.
THE CONTRACTOR SHALL LOCATE AND VERIFY ALL BUILDING LINES WITH RESPECT TO PROPERTY LINES, EXISTING BUILDINGS, ENTITIES, UTILITIES, ETC. BEFORE BACKFILLING.
EXCAVATE AS REQUIRED TO OBTAIN ELEVATIONS INDICATED ON THE DRAWINGS. STOCKPILE EXCAVATED MATERIAL WHERE DIRECTED UNTIL REQUIRED FOR FILL, BACKFILL, OR BERMING. REMOVE OR RELOCATE AS DIRECTED, EXCESS FILL FROM SITE.
THE GENERAL CONTRACTOR SHALL OVERSEE THE EXCAVATION TO ENSURE PROPER SIZE AND DEPTH OF THE EXCAVATED AREA.
BACKFILL ONLY WITH CLEAN, POROUS FILL COMPACTED IN 8" LIFTS.
BACKFILL ONLY AFTER FLOOR MEMBERS AND SUBFLOOR ARE INSTALLED, OR UNTIL FOUNDATIONS WALLS ARE PROPERLY BRACED.

03-CONCRETE
ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED OR PROPERLY ENGINEERED SOIL AND SHALL BE 5,000 PSI CONCRETE OR 2,500 PSI WITH AN APPROVED AD MIXTURE.
ALL FOOTINGS SHALL BE FORMED WITH WOOD OR METAL FORMS.
ALL INTERIOR SLABS SHALL BE 3,500 PSI CONCRETE PLACED ON COMPACTED GRANULAR FILL, TROWELED SMOOTH.
INSTALL A CONTINUOUS VAPOR BARRIER UNDER THE BASEMENT AND GARAGE FLOOR SLABS. TAPE ALL JOINTS.
EXTERIOR SIDEWALKS SHALL BE 4" MINIMUM THICK REINFORCED WITH 6X6 10/10 WWM, PLACED ON COMPACTED FILL AND SEALED.
PROVIDE CONTROL JOINTS APPROXIMATELY EVERY 5'.
PROVIDE AND INSTALL COMPACTED GRANULAR FILL (3" MINIMUM) UNDER ALL CONCRETE SLABS.
PROPERLY BRACE FOUNDATION WALLS PRIOR TO BACKFILLING.

04-MASONRY
ALL MASONRY WORK SHALL BE DONE IN ACCORDANCE WITH STANDARDS ESTABLISHED BY THE MASONRY INSTITUTE OF AMERICA.

05-METALS
THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL CONNECTIONS NECESSARY TO COMPLETE THE PROJECT.

06-WOODS & PLASTICS
ALL WORK TO BE DONE ACCORDING TO THE STANDARD FOR LIGHT FRAME WOOD CONSTRUCTION BY WESTERN WOOD PRODUCTS ASSOCIATION.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE BUILDING.
ALL FRAME WALLS SHALL HAVE STUD FRAMING PLACED AT 16" O.C. EXCEPT WHERE NOTED OTHERWISE ON PLAN.
TOP PLATES SHALL BE DOUBLED ON ALL WALLS EXCEPT AS NOTED OTHERWISE ON PLAN.
ALL WOOD MEMBERS IN CONTACT WITH CONCRETE, ON GRADE, OR WITHIN 6" OF FINISHED GRADE SHALL BE TREATED FOR DECAY RESISTANCE.
ROUGH FRAMING:
PLATES AND STUDS - #2 & BTR. SPF
WALL SHEATHING - 7/16" OSB
FLOOR MEMBERS - FLOOR SYSTEM PER PLAN.
SUBFLOOR - 3/4" T&G PLYWOOD . GLUE AND NAIL TO JOISTS.
SUB FASCIA - #2 & BRT. SPF
ROOF SHEATHING - 1/2" OSB
INSTALL PLYWOOD CLIPS BETWEEN EACH RAFTER OR TRUSS SPACE BETWEEN ADJOINING SHEETS.
ROOF TRUSSES - ENGINEERED WOOD TRUSSES @24" O.C. MAXIMUM
ENGINEERED FLOOR & ROOF TRUSSES - PROVIDE THE TRUSS MANUFACTURER WITH A COMPLETE SET OF DRAWINGS TO VERIFY ALL DETAILS, DIMENSIONS AND QUANTITIES.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE TRUSSES ARE MANUFACTURED.
THE TRUSS MANUFACTURER SHALL SUPPLY ALL THE NECESSARY HANGERS AND SHALL ALSO PROVIDE SHOP DRAWINGS SHOWING TRUSS LAYOUT, GIRDERS, GIRDER SIZES, HANGERS, LIVE AND DEAD LOADS.
THE TRUSS MANUFACTURER SHALL ENGINEER THE FLOOR & ROOF TRUSSES TO WITHSTAND THE LOADS INCURRED IN THIS DESIGN.
ANY HEADERED OPENINGS OVER 6'-0" SHALL HAVE DOUBLE TRIMMERS SUPPORTING EACH END.
FLASHING - GALVANIZED METAL. INSTALL ICE AND WATER SHIELD IN ALL VALLEYS OVER ROOF SHEATHING UNDER METAL FLASHING.
ALL VALLEYS SHALL HAVE GALVANIZED OR COLORED METAL FLASHING.
INSTALL MINIMUM OF 15# FELT UNDER SHINGLES.

07-THERMAL & MOISTURE PROTECTION
EXTERIOR WALL TO RECEIVE 5 1/2" BATT OR BLOWN FIBERGLASS INSULATION.
BLOWN ATTIC INSULATION - BLOW INSULATION TO R-49 (MIN) UP TO CHUTES AT ALL EAVES.
SEAL WINDOW AND DOOR CAVITIES OR AREAS TOO SMALL TO INSULATE WITH A NON EXPANDING FOAM INSULATION/SEALER.
SEAL ALL HOLES DRILLED IN THE TOP PLATES OF WALLS ADJOINING ATTIC SPACES TO PREVENT AIR TRANSFER TO THE ATTIC.
VAPOR BARRIER ON ALL EXTERIOR WALLS AND CEILINGS SHALL BE 6 MIL POLY.
VAPOR BARRIERS SHALL RUN CONTINUOUS THROUGHOUT THE STRUCTURE ON THE WARM SIDE (WINTER) OF THE INSULATION.
THE SEAMS SHALL BE LAPPED AND TAPED.
INSTALL A STRIP OF 6-MIL POLY (24" WIDE) WHERE INTERIOR WALLS MEET EXTERIOR WALLS AT FRAMING STAGE.
FULL DEPTH FOUNDATION WALLS SHALL DAMP PROOFED AND COVERED WITH A MEMBRANE COVERING SECURED AT THE TOP UNTIL BACKFILL AND FINISHED GRADING ARE COMPLETE.
INSTALL AIR CHUTES WITH WIND DAM IN EACH RAFTER OR TRUSS SPACE.
PROVIDE A VENTED AIR PASSAGE ABOVE ALL ATTIC INSULATION AND ROOF SHEATHING.
PROVIDE PROPER VENTING AT SOFFIT.
ROOF VENTS - CONTINUOUS SHINGLED RIDGE OR BOX VENT. PROPER SIZE AS RECOMMENDED BY MANUFACTURER FOR USE WITH ROOF COVERING.
ICE AND WATER SHIELD MEMBRANE - INSTALL MEMBRANE IN ALL VALLEYS (36" WIDE) BEFORE THE METAL VALLEY FLASHING IS INSTALLED.
INSTALL MEMBRANE AT EAVES FROM THE ROOF EDGE TO A POINT EXTENDING PAST THE EXTERIOR WALL LINE A MINIMUM OF 24".

08-DOORS & WINDOWS
INTERIOR DOORS - STYLE AS APPROVED BY THE OWNER. SEAL ALL 6 SIDES OF DOOR HARDWARE - AS SELECTED BY THE OWNER.
WINDOWS - LOW E INSULATED GLASS WITH ARGON. THE BUILDER SHALL OBTAIN A ROUGH OPENING LIST FROM THE WINDOW AND DOOR SUPPLIER PRIOR TO THE CONSTRUCTION OF THE EXTERIOR WALLS IF NOT PROVIDED ON THE PLANS.

09-FINISHES
GYPSUM BOARD - 1/2" ON WALLS WITH STUD SPACING OF 16" O.C. OR LESS. 5/8" ON ALL CEILINGS WITH FRAMING MEMBERS SPACED AT 24" O.C. OR LESS.
ALL GYPSUM BOARD SHALL BE SCREWED TO FRAMING MEMBERS.
TAPING AND TEXTURING - ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TAPED, COATED (3 COATS) AND SANDED. VERIFY THE WALL AND CEILING FINISH WITH THE OWNER.
ALL DOORS , WINDOWS, WOOD PANELING AND TRIM SHALL BE STAINED, SEALED AND VARNISHED OR PAINTED. VERIFY FINISH WITH OWNER.
WALLS SHALL BE PRIMED (1 COAT) AND PAINTED (2 COATS).
CABINETS AND COUNTERTOPS - VERIFY MATERIAL AND STYLE WITH OWNER.

10-SPECIALTIES

11-EQUIPMENT

12-FURNISHINGS

13-SPECIAL CONSTRUCTION

14-CONVEYING SYSTEMS

15-MECHANICAL
ALL MECHANICAL WORK SHALL BE FURNISHED AND INSTALLED WITHIN THE REQUIREMENTS OF THE MINNESOTA STATE BUILDING CODE.
MECHANICAL EQUIPMENT LOCATIONS AS SHOWN ON PLANS ARE SUGGESTIONS ONLY AND SHOULD BE REVIEWED BY THE MECHANICAL CONTRACTOR FOR POSSIBLE ALTERNATE PLACEMENT.
IF NEEDED, PLUMBING, HEATING/COOLING DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE PLUMBING, HEATING/COOLING CONTRACTORS.
ALL WATER LINES SHALL BE COPPER OR PEX TUBING. ALL SOIL, DRAIN AND VENT LINES SHALL BE RUN IN PVC PLASTIC PIPE.
COORDINATE WITH THE CONCRETE AND MASONRY CONTRACTORS THE NEED FOR ANY SLEEVES THROUGH THE FOOTINGS, FOUNDATIONS WALLS, ETC.
PLUMBING FIXTURES - THE CONTRACTOR SHALL VERIFY THE FIXTURE STYLES AND COLORS WITH THE OWNER.
INSTALL BATHROOM EXHAUST FANS IN EACH BATHROOM. THE CONTRACTOR SHALL DETERMINE THE SIZE OF THE FANS.
INSTALL INSULATED DUCTING AND DAMPERED WALL CAPS FOR THE EXHAUST FANS.

16-ELECTRICAL
ALL ELECTRICAL WORK SHALL BE FURNISHED AND INSTALLED WITHIN THE REQUIREMENTS OF THE MINNESOTA STATE BUILDING CODE.
THE ELECTRICAL CONTRACTOR SHALL PROVIDE TO THE OWNER A WALK THROUGH BEFORE THE TIME OF ELECTRICAL ROUGH-IN TO VERIFY THE PLACEMENT OF ELECTRICAL COMPONENTS INVOLVED IN THE PROJECT.
ANY CHANGES REQUESTED BY THE OWNER SHALL BE DONE AT THIS TIME.
SMOKE DETECTORS SHALL BE WIRED TOGETHER SUCH THAT WHEN ONE IS ACTIVATED ALL WILL SOUND OFF.
INSTALL ALL FIXTURES SELECTED BY THE OWNER.
RECESSED CANS IN INSULATED ATTIC SPACES SHALL BE AIR-LOC BRAND OR EQUAL.
PROVIDE WIRING FOR ALL MECHANICAL AND APPLIANCES AS SHOWN ON THE PLAN.
ALL OUTLETS, SWITCHES, LIGHTS, ETC. LOCATED IN EXTERIOR INSULATED WALLS SHALL BE PLACED IN AIR/VAPOR TIGHT BOXES AND PROPERLY SEALED.
FOOTINGS SHALL BE REINFORCED WITH 2-#4 REINFORCING RODS CONTINUOUS AROUND PERIMETER.
TRUSS MANUFACTURER TO VERIFY AND ACCOUNT FOR SPECIAL LOAD REQUIREMENTS SUCH AS TUBS, FIREPLACES, FLOOR COVERINGS, GRANITE COUNTERTOPS, ETC.

DESIGN ASSUMPTIONS

BUILDING CODES:
2020 MINNESOTA RESIDENTIAL ENERGY CODE
2020 MINNESOTA RESIDENTIAL CODE
OCCUPANCY CLASSIFICATION: IRC-1 (SINGLE FAMILY DWELLING)
DESIGN LOADS:
SNOW LOAD: 42 PSF
FROST DEPTH: 60"
WIND LOAD: 115 MPH
SOIL BEARING CAPACITY: 2000 PSF
SOIL TYPE:
EXPOSURE CATEGORY: C (OPEN TERRAIN WITH SCATTERED OBSTRUCTIONS)

PROJECT INFORMATION
OWNERS:
JAMIE & AMY KORZENOWSKI
29389 427TH AVE
AITKIN, MN 56431

HOME:
WORK:
CELL:

SITE:
29389 427TH AVE
AITKIN, MN SITE ZIP

PARCEL ID#: 07-0-059300
SEC-27/TWP-46/RANGE-27
ACRES: 2.0
TOWNSHIP: FARM ISLAND
LAKE NAME: LITTLE PINE LAKE
LAKE #: 1011600

GENERAL CONTRACTOR:
TO BE DETERMINED AT THIS TIME

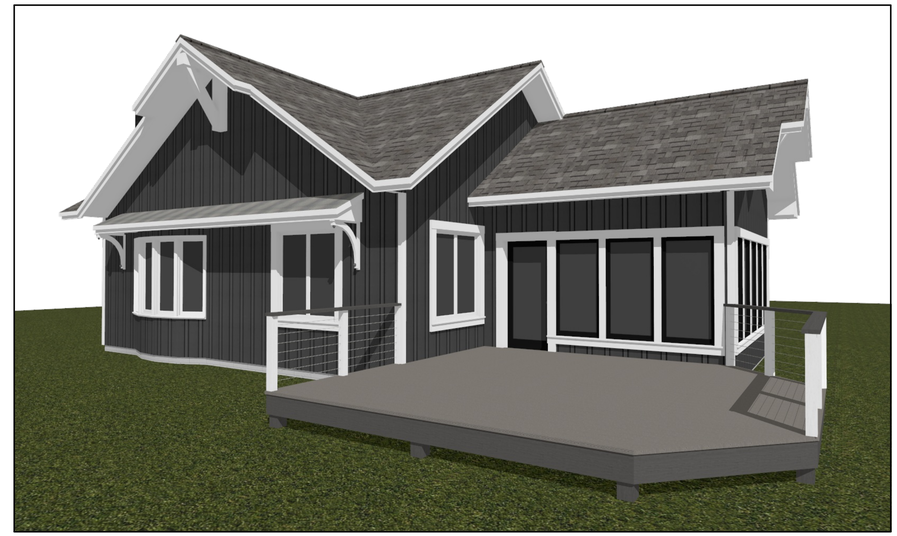
HOME:
WORK:
CELL:
MN LICENSE #:

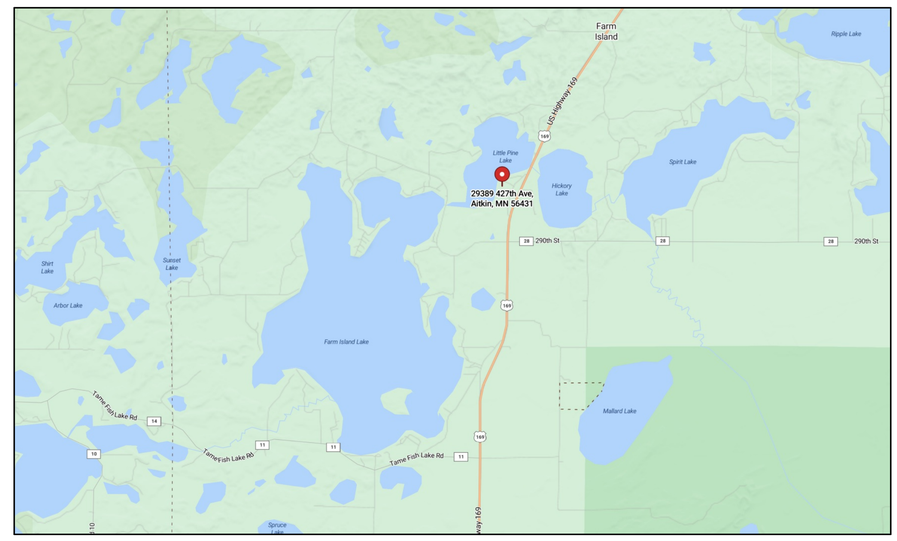
PLAN SHEET INDEX

PAGE	PAGE TITLE
A1	GENERAL NOTES, PROJECT INFORMATION, SITE LOCATION MAP
A2	EXISTING CONDITIONS
A3	EXISTING CONDITIONS
A4	FOUNDATION PLAN, EXTERIOR ELEVATION
A5	FLOOR PLAN - MAIN LEVEL, EXTERIOR ELEVATION
A6	ROOF PLAN, BUILDING SECTIONS, DETAILS
A7	EXTERIOR ELEVATIONS

REVISIONS

DATE	DESCRIPTION
7/21/25	ADD BUILDING HEIGHT TO EXISTING AND PROPOSED ELEVATIONS





LOCATION MAP
29389 427TH AVE, AITKIN, MN, SITE ZIP
NOT TO SCALE
NORTH

PLAN DATE: 7/21/25
PROJECT #: 202506
DRAWN BY: DJH

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Otomba Road, Pierz, MN 56364 Phone: 218-551-7091
dan@djhplanning.com www.djhplanning.com

PROJECT NAME
KORZENOWSKI
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

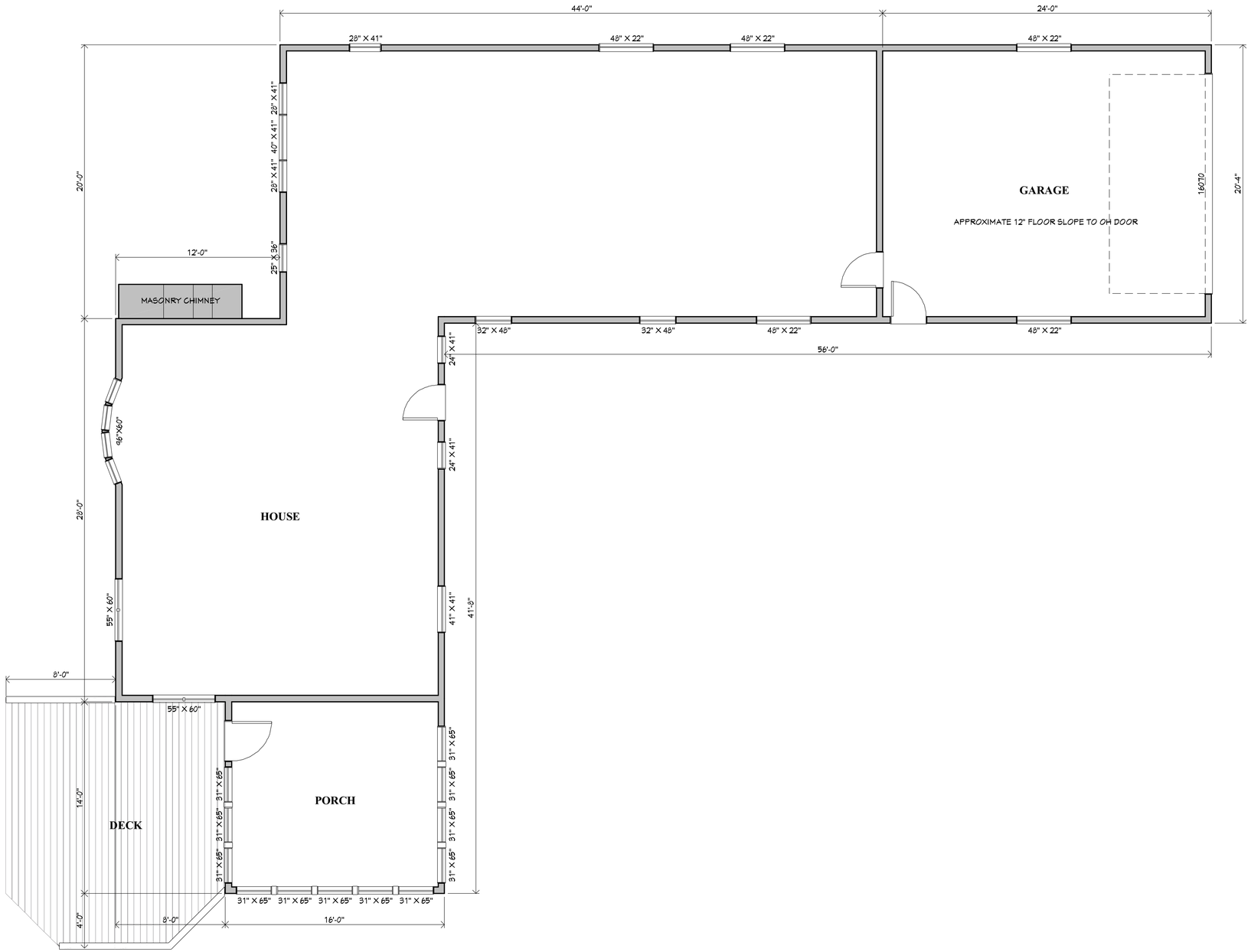
SHEET
A1

EXISTING VIEW FROM NORTH

EXISTING VIEW FROM WEST

EXISTING VIEW FROM EAST

EXISTING VIEW FROM EAST



EXISTING CONDITIONS

MAIN LEVEL

1/4"=1'-0" NORTH

PLAN DATE: 7/21/25

PROJECT #: 202506

DRAWN BY: DANNY HEID

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Ottumba Road, Pierz, MN 56364 Phone: 218-551-7091
dan@djhplanning.com www.djhplanning.com

DAN J. HEID - PLANNING & DESIGN LLC IS NOT AN ARCHITECTURAL FIRM. THE DESIGNS, PLANS AND SPECIFICATIONS ARE BASED UPON THE BEST CONSTRUCTION PRACTICES AND MATERIALS AVAILABLE AT THE TIME THE DESIGN WAS PREPARED. DAN J. HEID - PLANNING & DESIGN LLC DOES NOT WARRANT THAT THE PLANS PROVIDED WILL COMPLY WITH THE LATEST BUILDING CODES. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS, SPECIFICATIONS OR OTHER DOCUMENTS. THE OWNER IS RESPONSIBLE FOR INTERNATIONAL BUILDING CODE AND STATE AND LOCAL CODE COMPLIANCE. THE OWNER IS RESPONSIBLE FOR ENSURING THE STRUCTURAL INTEGRITY AND STABILITY OF THE BUILDING, ALL CONDITIONS ON THE COVER SHEET OF THESE DRAWINGS.

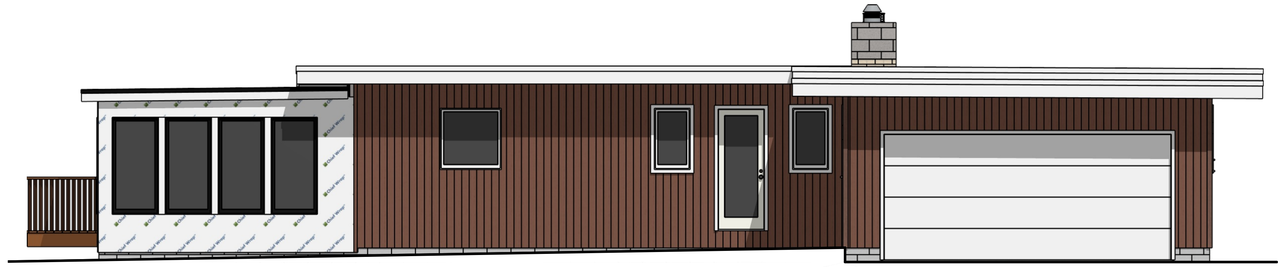
PROJECT NAME

KORZENOWSKI

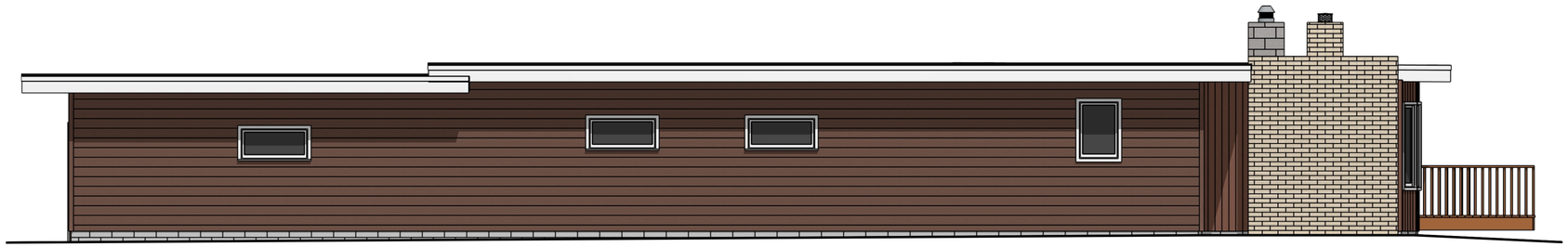
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET

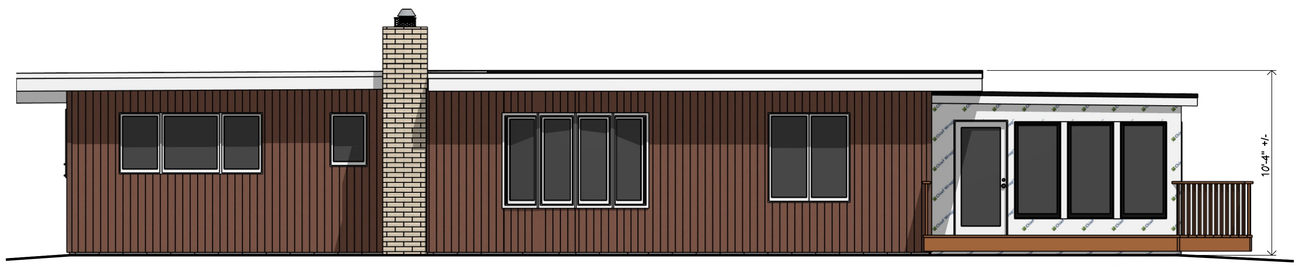
A2



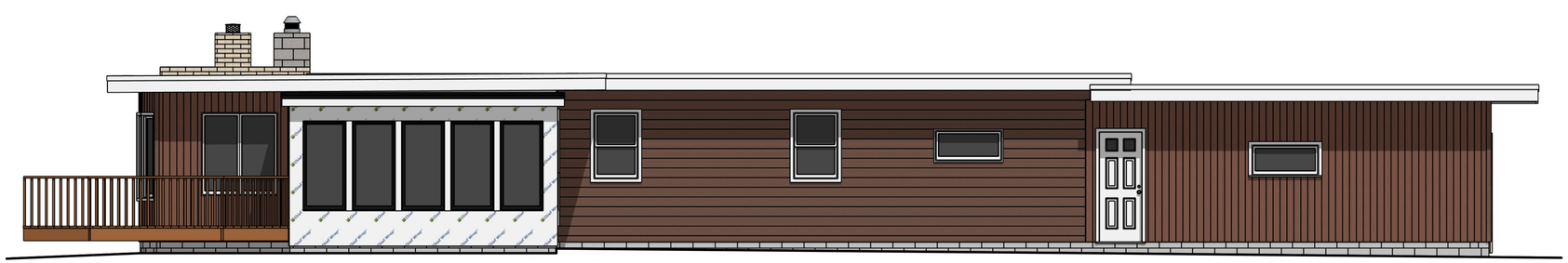
EXISTING ELEVATION 1/4"=1'-0"
VIEW FROM EAST



EXISTING ELEVATION 1/4"=1'-0"
VIEW FROM NORTH



EXISTING ELEVATION 1/4"=1'-0"
VIEW FROM WEST



EXISTING ELEVATION 1/4"=1'-0"
VIEW FROM SOUTH

PLAN DATE: 7/21/25

PROJECT #: 202506

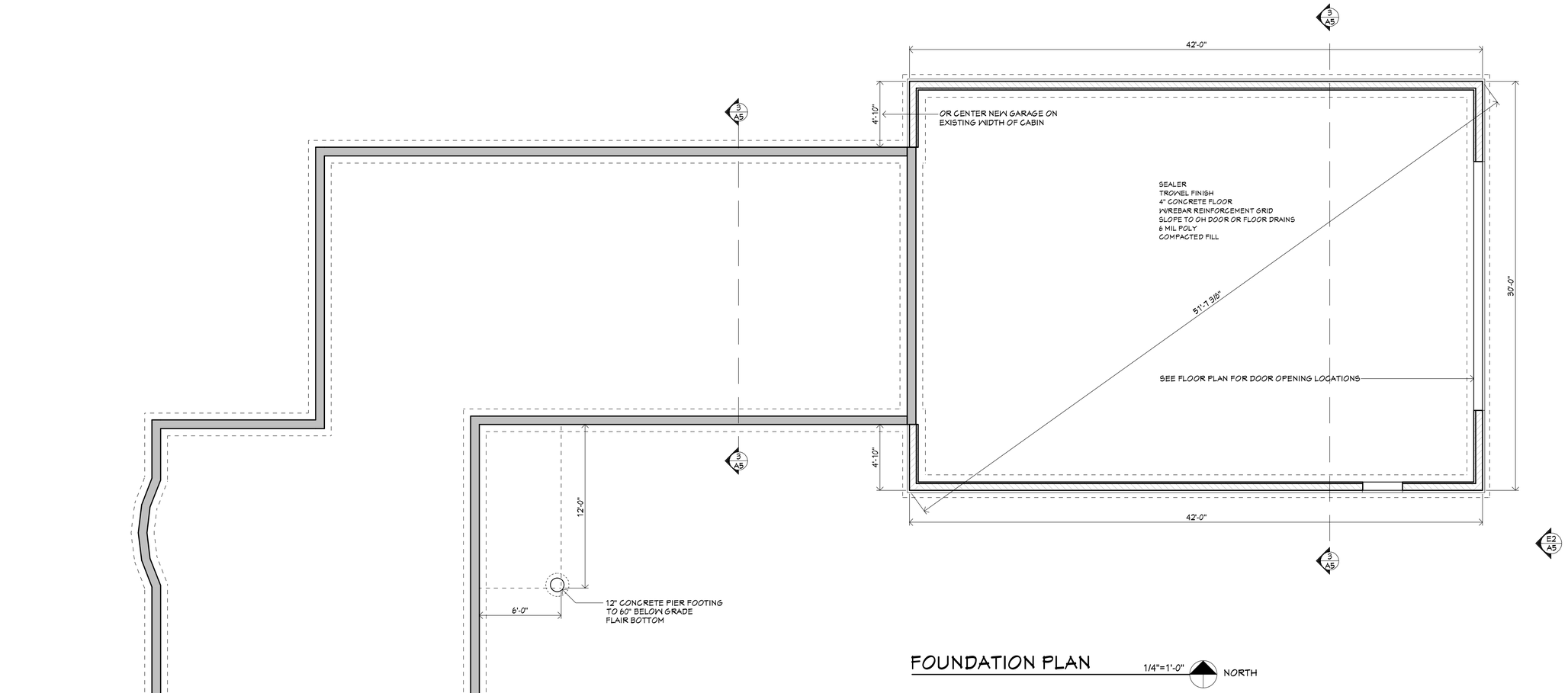
DRAWN BY: DANNY HEID

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Otsemba Road, Pierz, MN 56364 Phone: 218-851-7091
dan@djhplanning.com www.djhplanning.com

DAN J. HEID - PLANNING & DESIGN LLC DO NOT AN ENGINEERING OR ARCHITECTURAL FIRM. ALL PLANS AND SPECIFICATIONS ARE BASED UPON THE BEST CONSTRUCTION PRACTICES AND THE INFORMATION PROVIDED TO DAN J. HEID - PLANNING & DESIGN LLC BY OTHERS. THE PARTIES RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE BUILDING, SITE PREPARATION, UTILITIES, AND ALL OTHER BUILDING CODE AND STRUCTURAL INTEGRITY AND STABILITY OF THE BUILDING ARE THE OWNER AND CONTRACTOR. SEE ADDITIONAL NOTES AND CONDITIONS ON THE COVER SHEET OF THESE DRAWINGS.

PROJECT NAME
KORZENOWSKI
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

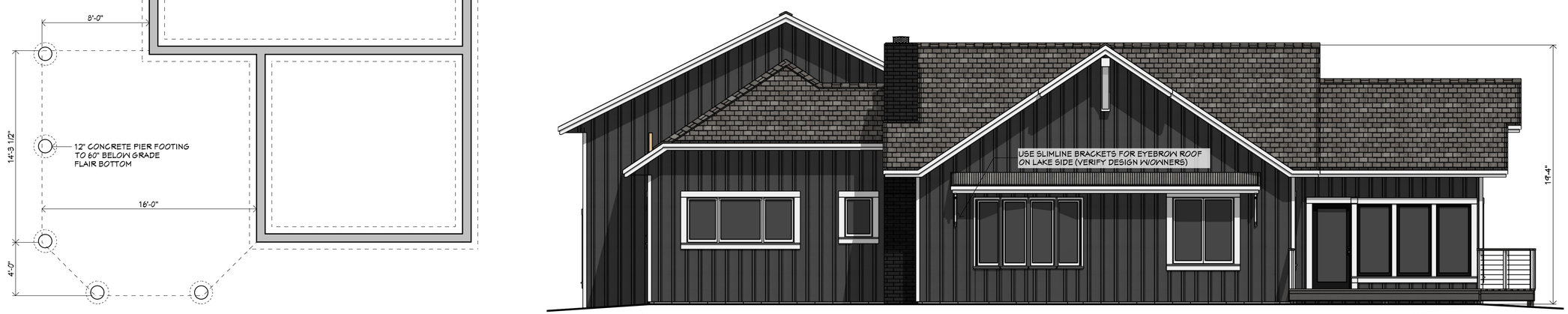
SHEET
A3



FOUNDATION PLAN

1/4"=1'-0"

NORTH



ELEVATION

VIEW FROM WEST

1/4"=1'-0"

PLAN DATE:
7/21/25

PROJECT #:
202506

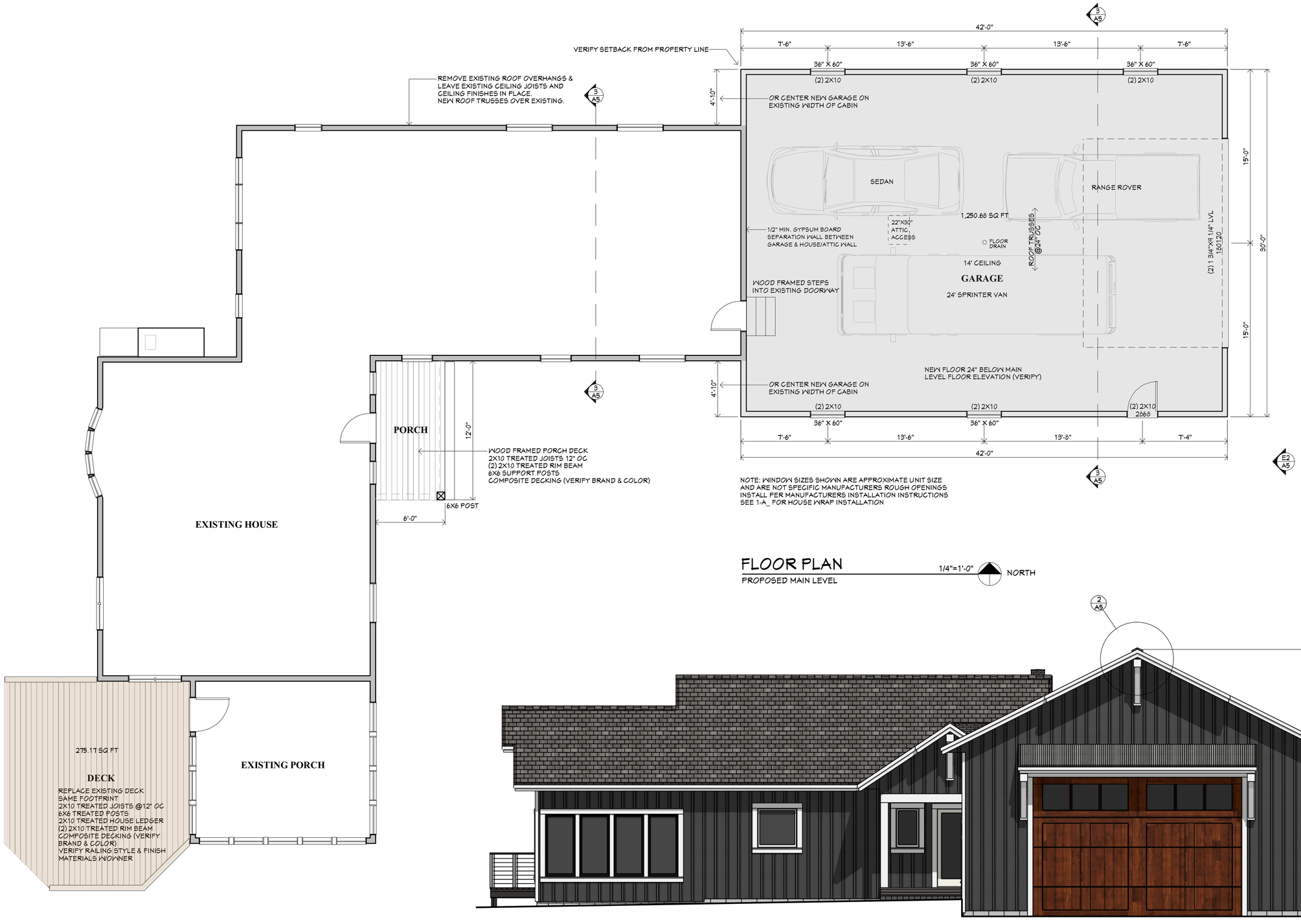
DRAWN BY:
DANIEL J HEID

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Otsemba Road, Pierz, MN 56364 Phone: 218-551-7091
dan@djhplanning.com www.djhplanning.com

DAN J. HEID - PLANNING & DESIGN LLC IS NOT AN ARCHITECTURAL FIRM. THE PLANS, DESIGNS, SPECIFICATIONS AND DRAWINGS (PLAN) AND SPECIFICATIONS ARE BASED UPON THE BEST CONSTRUCTION PRACTICES AND MATERIALS AVAILABLE AT THE TIME THE PLAN WAS DESIGNED. DAN J. HEID - PLANNING & DESIGN LLC DOES NOT WARRANT THAT THE PLANS PROVIDED BY DAN J. HEID - PLANNING & DESIGN LLC WILL COMPLY WITH THE CODES OF DAN J. HEID - PLANNING & DESIGN LLC HAS NO RESPONSIBILITY FOR THE PLAN AS PROVIDED AFTER IT HAS BEEN MODIFIED BY OTHERS. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ENGINEERING, BUILDING CODES AND STANDARDS, INTERNATIONAL BUILDING CODES AND STANDARDS, INTERNATIONAL RESIDENTIAL CODES AND STANDARDS, INTERNATIONAL ENERGY CONSERVATION CODES AND STANDARDS, INTEGRITY AND STABILITY OF THE BUILDING, ALL SITE CONDITIONS, ALL SITE DRAINAGE, ALL SITE CONDITIONS ON THE COVER SHEET OF THESE DRAWINGS.

PROJECT NAME
KORZENOWSKI
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET
A4



FLOOR PLAN

PROPOSED MAIN LEVEL

1/4"=1'-0"

ELEVATION

VIEW FROM EAST

1/4"=1'-0"

PLAN DATE: 7/21/25

PROJECT #: 202506

DRAWN BY: DANNY HEID

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Otsemba Road, Pierz, MN 56364 Phone: 218-551-7091
dan@djhplanning.com www.djhplanning.com

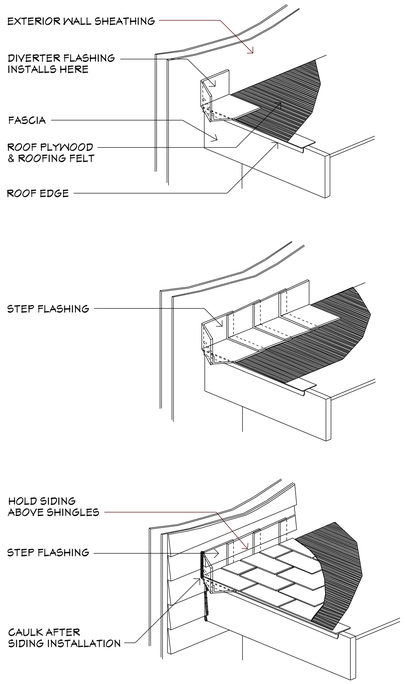
PROJECT NAME

KORZENOWSKI

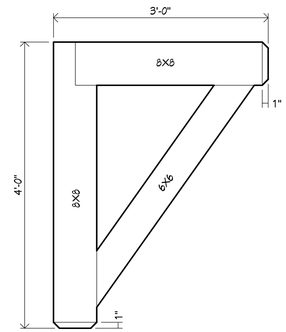
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET

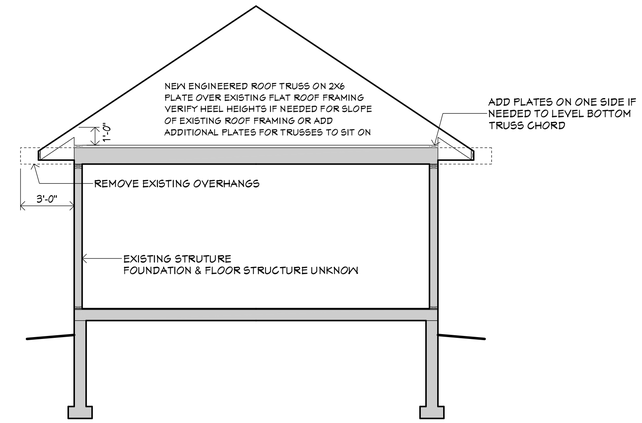
A5



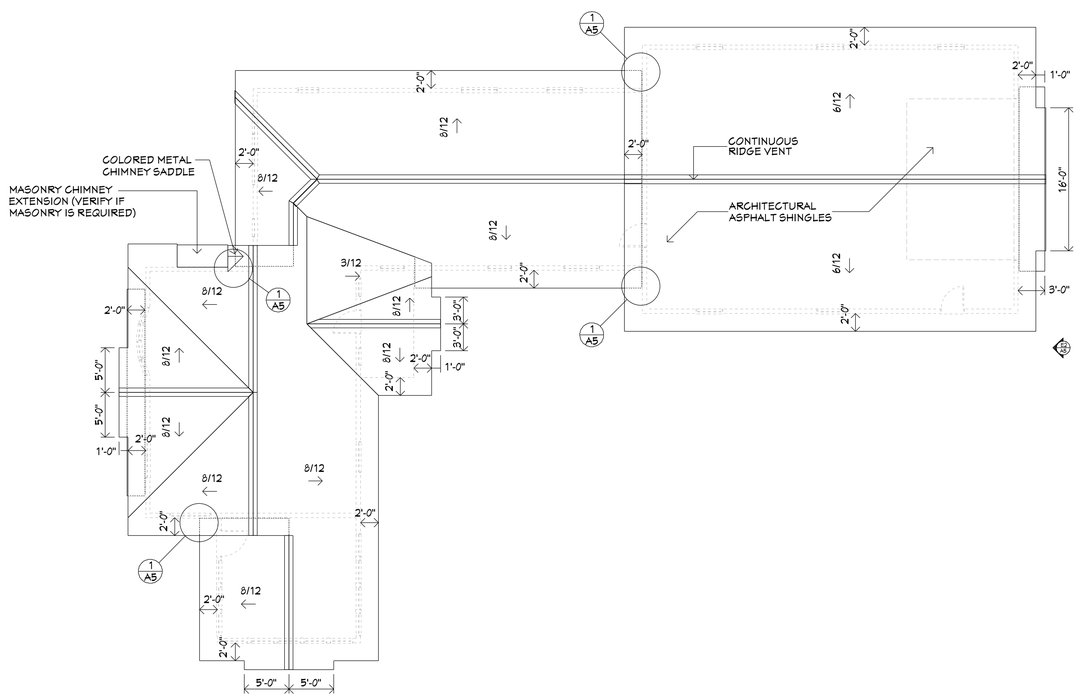
1/A5 DETAIL NOT TO SCALE
KICKOUT FLASHING
DETAIL #RD100



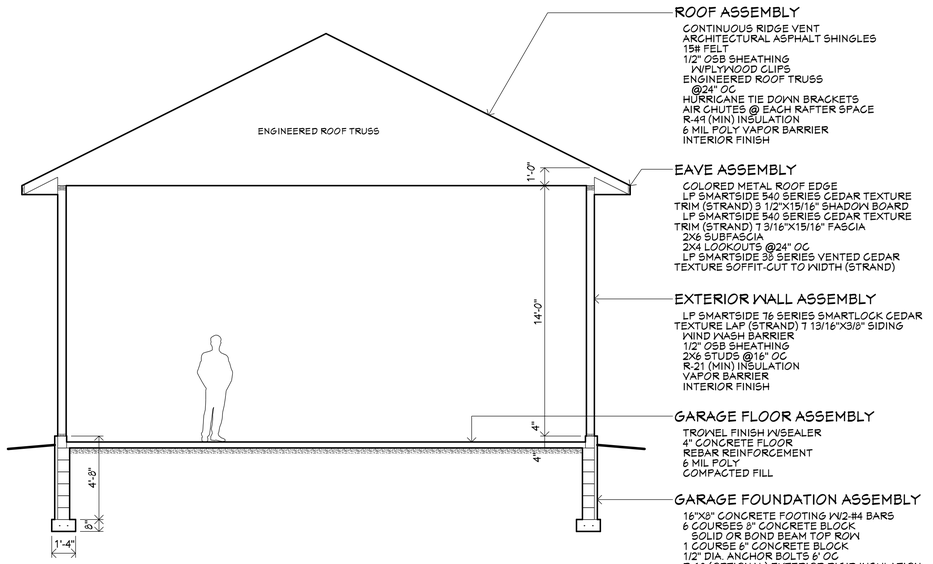
2/A5 DETAIL 1"=1'-0"
DETAIL #ED101



4/A5 SECTION 1/4"=1'-0"



ROOF PLAN 1/8"=1'-0" NORTH



3/A5 SECTION 1/4"=1'-0"

PLAN DATE: 7/21/25
PROJECT #: 202506
DRAWN BY: DANNY HEID

Dan J. Heid - Planning & Design LLC
Designer of Unique Homes & Creative Structures
22463 Ormsbie Road, Pierz, MN 56364 Phone: 218-551-7091
dan@djhplanning.com www.djhplanning.com

DAN J. HEID - PLANNING & DESIGN LLC IS NOT AN ENGINEERING FIRM. ALL DRAWINGS, PLANS AND SPECIFICATIONS ARE BASED UPON THE BEST CONSTRUCTION PRACTICES AND ARE DESIGNED TO COMPLY WITH THE 2020 IRC. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS CONTAINED IN THESE PLANS, SPECIFICATIONS AND DRAWINGS. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS OR DELAYS DUE TO ERRORS OR OMISSIONS. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS OR DELAYS DUE TO ENGINEERING, BUILDING CODES AND ZONING ISSUES. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURE, INTEGRITY AND STABILITY OF THE BUILDING. ALL DIMENSIONS TO BE VERIFIED ON SITE BY THE CONTRACTOR. ALL CONDITIONS ON THE COVER SHEET OF THESE DRAWINGS.

PROJECT NAME
KORZENOWSKI
LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET
A6

ELEVATION 1/4"=1'-0"

VIEW FROM SOUTH

ELEVATION 1/4"=1'-0"

VIEW FROM NORTH

PLAN DATE: 7/21/25

PROJECT #: 202506

DRAWN BY: Dan J Heid

Dan J. Heid - Planning & Design LLC

Designer of Unique Homes & Creative Structures

22463 Ormsby Road, Pierz, MN 56364 Phone: 218-551-7091

dan@djhplanning.com www.djhplanning.com

DAN J. HEID - PLANNING & DESIGN LLC IS NOT AN ENGINEERING FIRM. ALL PLANS AND SPECIFICATIONS ARE BASED UPON THE BEST CONSTRUCTION PRACTICES AND MEET OR EXCEED MINIMUM STANDARDS OF STATE AND LOCAL CODES. NOTWITHSTANDING THE FOREGOING, DAN J. HEID - PLANNING & DESIGN LLC DOES NOT WARRANT THAT THE PLANS PROVIDED BY DAN J. HEID - PLANNING & DESIGN LLC WILL COMPLY WITH THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL CODES. DAN J. HEID - PLANNING & DESIGN LLC DOES NOT WARRANT THE SUITABILITY OF THE PLANS FOR ANY PARTICULAR PURPOSE. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS CONTAINED IN THE PLANS. DAN J. HEID - PLANNING & DESIGN LLC IS NOT RESPONSIBLE FOR INTERPRETATION OF BUILDING CODES AND STRUCTURAL INTEGRITY AND SUITABILITY OF THE BUILDING. ALL CONDITIONS ON THE COVER SHEET OF THESE DRAWINGS.

PROJECT NAME

KORZENOWSKI

LITTLE PINE LAKE - AITKIN COUNTY - AITKIN - MN

SHEET

A7

PART I: SUPPLEMENTAL DATA TO VARIANCE APPLICATION

*updated 2.0 (porch removed)

Aitkin County Environmental Services
307 Second St. NW, Room 219, Aitkin, MN 56431
Phone: 218.927.7342 Fax: 218.927.4372
www.co.aitkin.mn.us

Note: Place an "X" by each item below that applies to your variance request. Then, fill out **only** the applicable following section(s) that apply, as directed. **If a section does not apply to your request, leave it blank.**

What is the reason(s) for applying for the variance? Place an "X" by each applicable item.

___ Setback issues for a proposed new structure: **Complete Section 1**

X Setback issues for an alteration to an existing nonconforming structure: **Complete Section 2**

___ Setback issues for a septic system: **Complete Section 3**

___ Land alteration: **Complete Section 4**

___ Creating a lot not in conformance with the minimum Ordinance standards: **Complete Section 5**

___ Other: attach separate sheet explaining variance request

Section 1 – New Structure(s)

Check all that apply and fill in requested information:

___Basement
___Crawlspace
___Walk-out Basement

___One Story Level
___Story-and-a-Half Level
___2nd Story Level

Proposed # of Bedrooms ____

Proposed Structure Height ____ ft.

Existing Total Building Coverage ____%

Proposed Total Building Coverage ____%

Existing Total Impervious Surface Coverage ____%

Proposed Total Impervious Surface Coverage ____%

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

_____
_____
_____
_____

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Structure Type (indicate with or without living quarters) Add pitch to flat roof, expand front door awning/Roofline, and expand garage size/height

Y Ordinary High Water Level (OHWL)	Proposed Setback 562 ft.
Y Property Line	Proposed Setback 9.8 ft.
____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback ____ ft.
____ Bluff	Proposed Setback ____ ft.
____ Other: ____	Proposed Setback ____ ft.

→ See page 3

Section 2 – Alteration(s) to Existing Nonconforming Structure(s)

Check all that apply and fill in requested information:

Existing Structure

___Basement
___Crawlspace
___Walk-out Basement
___One Story Level
___Story-and-a-Half Level
___2nd Story Level

Proposed Addition(s)

___Basement
___Crawlspace
___Walk-out Basement
___One Story Level
___Story-and-a-Half Level
___2nd Story Level

Existing Structure Height 10.4 ft.
Existing # of Bedrooms 2
Existing Building Coverage 5.1 %
Existing Total Impervious Surface Coverage 17.3 %

Proposed Addition(s) Height 19.4ft - 23ft ft.
Final # of bedrooms after remodel 2
Proposed Building Coverage 6.6 %
Proposed Total Impervious Surface Coverage 17.7 %

"Building Coverage" means the ground surface covered by any building or appurtenance, including, but not limited to, decks, platforms, overhangs and projections therefrom, outdoor furnaces, fishhouses, sheds, carports, lean-to's, or any similar building. –as per the Aitkin County Shoreland Management Ordinance.

"Impervious surface coverage" means any structure, facility or surface that sheds water including structures and facilities, sewage treatment system absorption areas (equal to 190 sq.ft./bedroom), retaining walls, and roadway surfaces and parking areas. Impervious surface does not include eaves of two feet and less. – Per the Aitkin Count Shoreland Management Ordinance.

Itemized square footage of proposed structure(s):

- Remodeling old garage by removing and rebuilding. Change from 20x24 to 30x42ft.
- ~~Covered porch is essentially new awning/roofline over front door of 6x12ft. It is included in drawing.~~ Remove

- Roof = Existing home
  44 x 20 = 888 sq ft
  28 x 24 = 672 sq ft
  16 x 14 = 224 sq ft
  = Existing garage (to be removed)
  20 x 24 = 480 sq ft

- Roof = New garage
  30 x 42 = 1,260 sq ft
  = ~~Enclosed porch~~
  ~~6 x 12 = 72 sq ft~~ Remove

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance. * Setbacks are measured to the nearest point on a structure which can be the eave overhang or an attached deck/platform.

Proposed Alteration Type Add pitch to flat roof, ~~expand front door~~ Remove, and expand garage size/ht.

Y Ordinary High Water Level (OHWL)	Existing Setback 56.2 ft.	Proposed Setback 56.2 ft.
Y Property Line	Existing Setback 12.1 ft.	Proposed Setback 9.8 ft.
____ Road Right-of way __ Twp __ Co. __ State	Existing Setback ____ ft.	Proposed Setback ____ ft.
____ Bluff	Existing Setback ____ ft.	Proposed Setback ____ ft.
____ Other: ____	Existing Setback ____ ft.	Proposed Setback ____ ft.

designers intent is to be 10ft off property line - Actual construction can be at variable 10ft.

Section 3 – Septic System

Check the item(s) from which you are requesting a variance and fill in the proposed setback distance.

____ Ordinary High Water Level (OHWL)	Proposed Setback ____ ft.
____ Property Line	Proposed Setback ____ ft.
____ Road Right-of way __ Twp __ Co. __ State	Proposed Setback ____ ft.
____ Bluff	Proposed Setback ____ ft.
____ Other: ____	Proposed Setback ____ ft.

N/A

Section 4 – Land Alteration

What is your land alteration? Check all categories that apply and indicate the total amount of excavation or placement of fill.

____ More than 10 cubic yards on steep slopes and shore and bluff impact zones.	Total Cubic Yds. ____
____ Other: ____	Total Cubic Yds. ____

N/A

Section 5 – Creating Nonconforming Lot(s)

Check the item(s) from which you are requesting a variance and fill in the proposed dimensions.

____ Property Width	Proposed Property Width ____
____ Property Area	Proposed Property Area ____
____ (2) Standard Septic Sites	
____ Legal Access	

N/A

TIMBER LAKES
SEPTIC SERVICES INC.

Septic System Compliance Inspection – Existing System

Date: 07/08/2025
Property Owner: Korzenowski, Jamie & Amy
Ordered By: Amy Korzenowski
Address: 29389 427th Ave Aitkin, MN 56431
Property ID: 07-0-059300
Inspector: Tim Woodrow

A compliance inspection was performed at the above location. Previous evaluations were used to determine the level of seasonal saturated soil. The Soil Treatment Area (Drain field) was also inspected to ensure there was no ponding or leaking. The septic tank was pumped and inspected. This onsite system was found to be **Compliant.**

- **Impact On Public Health:**
  System is Compliant
- **Tank Integrity:**
  Tank(s) are compliant
- **Other Compliance Conditions:**
  None
- **Soil Separation**
  Soils are compliant
- **Operating Permit and Nitrogen BMP**
  NA

I have included a copy of the compliance documents for your record. I have also sent a copy to Aitkin County for their records. If you have any questions, please do not hesitate to give us a call.

Thanks!

Tim Woodrow
Owner

218-927-6175

DISCLAIMER:

The septic system inspection conducted for this property meets MPCA requirements for existing systems.

We recommend this system to be serviced and evaluated at least every 36 months by a septic professional.

Any additions to the home or increased use of the home may require an increase in system capacity.

1. Compliance Requirements evaluated as part of this inspection include the verification that the system tanks do not leak below the designed operating depth, the required separation between the bottom of the subsurface distribution medium and the seasonally saturated soils if applicable, no discharge of septage/effluent to the ground surface or surface water and no imminent safety hazards exist. Timber Lakes Septic Inc does not inspect interior pumps, plumbing, or associated components.
2. Certification of this system does not warranty future use beyond the date of inspection. Any system, new or old, can be hydraulically overloaded and discharge to ground surface as a result of increase use(more people in house, faulty plumbing fixtures, change in habits, groundwater infiltration etc), improper maintenance, tree roots, freezing conditions, surface drainage problems, etc. The system can also stop working simply due to its age. The life expectancy of a system is variable and dependent upon the items previously listed. Proper maintenance and water conservation will help contribute to a longer system life.
3. A compliance inspection is not meant to be a test or inspection of longevity of the system. A compliance inspection is for the purpose of verifying if the system is protective of public health and safety as well as protecting the ground water at the date and time the inspection was performed. This inspection is not intended to determine if the system was originally designed or installed to past or present MPCA/Local Government Unit Code requirements. This inspection is not intended to determine if the system was designed and/or installed to support the anticipated flow from buildings as the use of the buildings may have changed since the original design was completed. These changes may include additional bedrooms, occupants, increased use, etc. In addition, this inspection is not intended to determine the quality of the original system design, quality of the construction practices during installation, or quality of materials used.
4. Timber Lakes Septic Inc. has not been retained to warranty, guarantee, or certify the proper functioning of the ISTS system for any period of time beyond the date of inspection or into the future. There are numerous factors which may affect the proper operation of a ISTS System and the inability of Timber Lakes Septic to supervise or monitor the use or maintenance of the ISTS System, the Compliance Report shall not be construed as a warranty or guarantee of future system performance.
5. By accepting this report, the client understands that Timber Lakes Septic will not be responsible for any monetary damages exceeding the fee for services provided.
6. This Report is prepared for the person or rep of the person providing payment for the fees charged.

MINNESOTA POLLUTION CONTROL AGENCY
520 Lafayette Road North
St. Paul, MN 55155-4194

Compliance inspection report form

Existing Subsurface Sewage Treatment System (SSTS)

Doc Type: Compliance and Enforcement

Instructions: Inspector must submit completed form to Local Governmental Unit (LGU) and system owner within 15 days of final determination of compliance or noncompliance. Instructions for filling out this form are located on the Minnesota Pollution Control Agency (MPCA) website at https://www.pca.state.mn.us/sites/default/files/wq-wwists4-31a.pdf.

Property information

Local tracking number:

Parcel ID# or Sec/Twp/Range: 07-0-059300 Reason for Inspection Permit

Local regulatory authority info: Aitkin County

Property address: 29389 427th Ave Aitkin, MN 56431

Owner/representative: Amy Korzenowski Owner's phone: 612-708-7578

Brief system description: 1650 combo s/l to a 10x50 mound with a 36" sand base

System status

System status on date (mm/dd/yyyy): 7/8/2025

☒ **Compliant – Certificate of compliance***

*(**Valid for 3 years from report date** unless evidence of an imminent threat to public health or safety requiring removal and abatement under section 145A.04, subdivision 8 is discovered or a shorter time frame exists in Local Ordinance.)*

Note: Compliance indicates conformance with Minn. R. 7080.1500 as of system status date above and does not guarantee future performance.

☐ **Noncompliant – Notice of noncompliance**

Systems failing to protect ground water must be upgraded, replaced, or use discontinued within the time required by local ordinance.

An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance or under section 145A.04 subdivision 8.

Reason(s) for noncompliance (check all applicable)

- ☐ Impact on public health (Compliance component #1) – *Imminent threat to public health and safety*
- ☐ Tank integrity (Compliance component #2) – *Failing to protect groundwater*
- ☐ Other Compliance Conditions (Compliance component #3) – *Imminent threat to public health and safety*
- ☐ Other Compliance Conditions (Compliance component #3) – *Failing to protect groundwater*
- ☐ System not abandoned according to Minn. R. 7080.2500 (Compliance component #3) – *Failing to protect groundwater*
- ☐ Soil separation (Compliance component #5) – *Failing to protect groundwater*
- ☐ Operating permit/monitoring plan requirements (Compliance component #4) – *Noncompliant - local ordinance applies*

Comments or recommendations

Certification

I hereby certify that all the necessary information has been gathered to determine the compliance status of this system. No determination of future system performance has been nor can be made due to unknown conditions during system construction, possible abuse of the system, inadequate maintenance, or future water usage.

***By typing my name below**, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.*

Business name: Timber Lakes Septic Service Certification number: C7644

Inspector signature: Tim Woodrow License number: L455

(This document has been electronically signed) Phone: 218-927-6175

Necessary or locally required supporting documentation (must be attached)

☒ Soil observation logs ☒ System/As-Built ☐ Locally required forms ☒ Tank Integrity Assessment ☐ Operating Permit

☐ Other information (list):

Property Address: 29389 427th Ave Aitkin, MN 56431

Business Name: Timber Lakes Septic Service Date: 7/8/2025

1. Impact on public health – Compliance component #1 of 5

Compliance criteria:

System discharges sewage to the ground surface	☐ Yes* ☒ No
System discharges sewage to drain tile or surface waters.	☐ Yes* ☒ No
System causes sewage backup into dwelling or establishment.	☐ Yes* ☒ No

Any "yes" answer above indicates the system is an imminent threat to public health and safety.

Describe verification methods and results:

Attached supporting documentation:

☐ Other:

☐ Not applicable

2. Tank integrity – Compliance component #2 of 5

Compliance criteria:

System consists of a seepage pit, cesspool, drywell, leaching pit, or other pit?	☐ Yes* ☒ No
Sewage tank(s) leak below their designed operating depth?	☐ Yes* ☒ No
If yes, which sewage tank(s) leaks:	

Any "yes" answer above indicates the system is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation:

☐ Empty tank(s) viewed by inspector

Name of maintenance business:

License number of maintenance business:

Date of maintenance:

☒ Existing tank integrity assessment (Attach)

Date of maintenance (mm/dd/yyyy): 7/3/2025 (must be within three years)

(See form instructions to ensure assessment complies with Minn. R. 7082.0700 subp. 4 B (1))

☐ Tank is Noncompliant (pumping not necessary – explain below)

☐ Other:

Property Address: 29389 427th Ave Aitkin, MN 56431
Business Name: Timber Lakes Septic Service Date: 7/8/2025

3. Other compliance conditions – Compliance component #3 of 5

3a. Maintenance hole covers appear to be structurally unsound (damaged, cracked, etc.), or unsecured?

☐ Yes* ☒ No ☐ Unknown

3b. Other issues *(electrical hazards, etc.)* to immediately and adversely impact public health or safety? ☐ Yes* ☒ No ☐ Unknown

Yes to 3a or 3b - System is an imminent threat to public health and safety.

3c. System is non-protective of ground water for other conditions as determined by inspector? ☐ Yes* ☒ No

3d. System not abandoned in accordance with Minn. R. 7080.2500? ☐ Yes* ☒ No

Yes to 3c or 3d - System is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation: ☐ Not applicable ☐ _____

4. Operating permit and nitrogen BMP* – Compliance component #4 of 5 ☒ Not applicable

Is the system operated under an Operating Permit? ☐ Yes ☐ No **If "yes", A below is required**

Is the system required to employ a Nitrogen BMP specified in the system design? ☐ Yes ☐ No **If "yes", B below is required**

BMP = Best Management Practice(s) specified in the system design

If the answer to both questions is "no", this section does not need to be completed.

Compliance criteria:

a. Have the operating permit requirements been met? ☐ Yes ☐ No

b. Is the required nitrogen BMP in place and properly functioning? ☐ Yes ☐ No

Any "no" answer indicates noncompliance.

Describe verification methods and results:

Attached supporting documentation: ☐ Operating permit (Attach) ☐

Property Address: 29389 427th Ave Aitkin, MN 56431

Business Name: Timber Lakes Septic Service Date: 7/8/2025

5. Soil separation – Compliance component #5 of 5

Date of installation 10/29/2017 (mm/dd/yyyy) ☐ Unknown

Shoreland/Wellhead protection/Food beverage lodging? ☒ Yes ☐ No

Compliance criteria (select one):

5a. *For systems built prior to April 1, 1996, and not located in Shoreland or Wellhead Protection Area or not serving a food, beverage or lodging establishment:* Drainfield has at least a two-foot vertical separation distance from periodically saturated soil or bedrock.	☐ Yes ☐ No*
5b. *Non-performance systems built April 1, 1996, or later or for non-performance systems located in Shoreland or Wellhead Protection Areas or serving a food, beverage, or lodging establishment:* Drainfield has a three-foot vertical separation distance from periodically saturated soil or bedrock.*	☒ Yes ☐ No*
5c. *"Experimental", "Other", or "Performance" systems built under pre-2008 Rules; Type IV or V systems built under 2008 Rules 7080. 2350 or 7080.2400 (Intermediate Inspector License required ≤ 2,500 gallons per day; Advanced Inspector License required > 2,500 gallons per day)* Drainfield meets the designed vertical separation distance from periodically saturated soil or bedrock.	☐ Yes ☐ No*

Any "no" answer above indicates the system is failing to protect groundwater.

Describe verification methods and results:

Attached supporting documentation:

☐ Soil observation logs completed for the report

☒ Two previous verifications of required vertical separation

☐ Not applicable (No soil treatment area)

☐ _____

Indicate depths or elevations

A. Bottom of distribution media	
B. Periodically saturated soil/bedrock	
C. System separation	
D. Required compliance separation*	

*May be reduced up to 15 percent if allowed by Local Ordinance.

Upgrade requirements: *(Minn. Stat. § 115.55) An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance. If the system is failing to protect ground water, the system must be upgraded, replaced, or its use discontinued within the time required by local ordinance. If an existing system is not failing as defined in law, and has at least two feet of design soil separation, then the system need not be upgraded, repaired, replaced, or its use discontinued, notwithstanding any local ordinance that is more strict. This provision does not apply to systems in shoreland areas, Wellhead Protection Areas, or those used in connection with food, beverage, and lodging establishments as defined in law.*

MINNESOTA POLLUTION CONTROL AGENCY
520 Lafayette Road North
St. Paul, MN 55155-4194

Sewage tank integrity assessment form

Subsurface Sewage Treatment Systems (SSTS) Program

Doc Type: Compliance and Enforcement

Purpose: This form *may* be used to certify the compliance status of the sewage tank components of the SSTS. **This form is not a complete SSTS inspection report, only a tank integrity assessment, and may only certify sewage tank compliance status when entirely completed and signed by a qualified professional.** SSTS compliance inspection report forms can be found at: https://www.pca.state.mn.us/water/inspections.

Instructions: This form may be completed, and signed, by a Designated Certified Individual (DCI) of a licensed SSTS inspection, maintenance, installation, or service provider business who personally conducts the necessary procedures to assess the compliance status of each sewage tank in the system. Only a licensed maintenance business is authorized to pump the tank for assessment. A copy of this information should be submitted to the system owner and be maintained by the licensed SSTS business for a period of five (5) years from the assessment date.

When this form is signed by a qualified certified professional, it becomes *necessary supporting documentation* to an Existing System Compliance Inspection Report: Compliance inspection form - Existing system (wq-wwists4-31b). This form can be found on the MPCA website at https://www.pca.state.mn.us/water/inspections.

The information and certified statement on this form is **required** when existing septic tank compliance status is determined by an individual other than the SSTS Inspector that submits an inspection report. This form represents a third party assessment of SSTS component compliance and is allowable under Minn. R. 7082.0700, subp. 4(B)(1). This form is valid for a period of three years beyond the signature date on this form unless a new evaluation is requested by the owner or owner's agent or is required according to local regulations. Additional Administrative Rule references for this activity can be found at Minn. R. 7082.0700, subp. 4(B),(C), and (D) and; Minn. R. 7083.0730(C).

Owner information

Owner/Representative: Korzenowski, Amy

Property address: 29389 427th Ave, Aitkin, MN 56431

Local Regulatory Authority: Aitkin County Parcel ID: 07-0-059300

System status

System status on date (mm/dd/yyyy): 7/3/2025

☒ **Certificate of sewage tank compliance** ☐ **Notice of sewage tank non-compliance**

Compliance criteria:

The SSTS has a seepage pit, cesspool, drywell, leaching pit, or other pit - "**Failure to Protect Groundwater.**"	☐ Yes* ☒ No
The SSTS has a sewage tank that leaks below the designed operating depth - "**Failure to Protect Groundwater.**"	☐ Yes* ☒ No
The SSTS presents a threat to public safety by reason of structurally unsound (damaged, cracked, or weak) maintenance hole cover(s) or lids or any other unsafe condition - "**Imminent Threat to Public Health or Safety.**"	☐ Yes* ☒ No

Any "yes" answer above indicates sewage tank non-compliance.

Company information

Company name: Timber Lakes Septic Service Inc

Business license number: L455

Designated Certified Individual (DCI) information

Print name: Dave Poree

Certification number: C10184

I personally conducted the work described above as a Designated Certified Individual of a Minnesota-licensed SSTS inspection, maintenance, installation, or service provider Business. I personally conducted the necessary procedures to assess the compliance status of each sewage tank in this SSTS.

***By typing/signing my name below**, I certify the above statements to be true and correct, to the best of my knowledge, and that this information can be used for the purpose of processing this form.*

Designated Certified Individual's signature: Dave Poree Date (mm/dd/yyyy): 7/3/2025

(This document has been electronically signed.)

AITKIN COUNTY

CERTIFICATE OF INSTALLATION/~~NOTICE OF NONCOMPLIANCE~~

This certificate of installation/~~notice of noncompliance~~ has been issued this 29th day of October, 20 17 to certify compliance\~~noncompliance~~ with Aitkin County's Subsurface Sewage Treatment System Ordinance.
The premises covered by this certificate are legally described as:
PART OF LOT 5 IN DOC 441628

Section 27 Township 46 Range 27 Lake Little Pine Lake
PERMIT NO. 43327 Owner Name Jamie Korzenowski
Address 29389 427th Ave, Aitkin, MN 56431
Installer Name Larry Liljenquist
Type of System Inspected T3 4BR Mound
Parcel Number 07-0-059300

The certificate of installation/~~notice of noncompliance~~ was based on No 1 of the following:

1) Inspection of the installation or construction as in accordance with the above referenced permit and application design.

2) Review of as-built plans submitted in accordance with Subdivision 9.2 D of Aitkin County's Subsurface Sewage Treatment System Ordinance.

If the above permitted subsurface sewage treatment system is in noncompliance with Aitkin County's Subsurface Sewage Treatment System Ordinance, then the following shall serve as a Notice of Violation:

1) Statement of the findings of fact through inspections or investigations:

2) List of specific violations of Ordinance:

3) Requirements for correction or removal of violations:

4) Time schedule for compliance:

Failure to correct or remove the above violation(s) will result in this matter being turned over to the Aitkin County Attorney's Office for further legal action, which may result in revocation of licenses or registrations, fines and/or imprisonment.

INSPECTOR SIGNATURE *Bryan Hargrave*

INDIVIDUAL SEWAGE TREATMENT SYSTEM INSPECTION FORM
AITKIN COUNTY, MINNESOTA

Township Farm Island **Date of Inspection** 10/18/2017 10/25/2017 **Permit Number** 43327

Owner Jamie Korzenowski **Parcel Number** 07-0-059300

Project Address 29389 427th Ave **Installer** Larry Liljenquist

City Aitkin **Zip Code** 56431 T3 4BR Mound

New [ ] **Repair** [✔]

DIST. or DROP BOX & TYPE _____

SETBACKS:

Buildings to tank(s) 12' to garage

Buildings to drainfield 25' garage to rockbed

Well(s) 50' or 100' SW: 100'+ to tank

Lake/Creek/Wetland 100'+ to Little Pine Lake

SEPTIC TANKS: **New** [✔] **Existing** [ ]

Number of tanks installed 1

Liquid capacity and type 1106 of 1650 Jac. combo

Type of baffle Plastic

Inspection pipes 20"

Manholes size 24"

Manhole to grade **Yes** [✔] **No** [ ]

PUMPS: **New** [✔] **Existing** [ ]

Tank capacity and type 527G part of combo tank

Pump manufacturer & model # Gould PE51

Horsepower & GPM 0.5 HP 29GPM min.

Feet of head 13.6' min.

Gallons per cycle —

Size of discharge line 2"

Type & location of alarm Rhombus alarm on tank

Water meter Event counter on tank

TRENCHES, BEDS, OR GRAVELLESS LEACHFIELD:

Trench depth _____

Trench length _____

Trench bottom width _____

Trench spacing _____

Drainfield rock below pipe _____

Size of gravelless pipe _____

Depth of backfill _____

Absorption area: square feet _____

lineal feet _____

MOUNDS:

Percent slope 4%

Upslope dike width 17.5'

Downslope dike width 25.8'

Sideslope dike width 17.5'

Drainfield rock below pipe 9" of 12" total

Depth of sand below rock 36"

Perforation size & spacing 0.25" 4' sp.

Pipe size & spacing 1.5" 3.5' sp

Dimensions of rock bed 10' X 50'

Dimensions of sand base 36' X 72'

Final cover 12" cover over rb; 4" ts

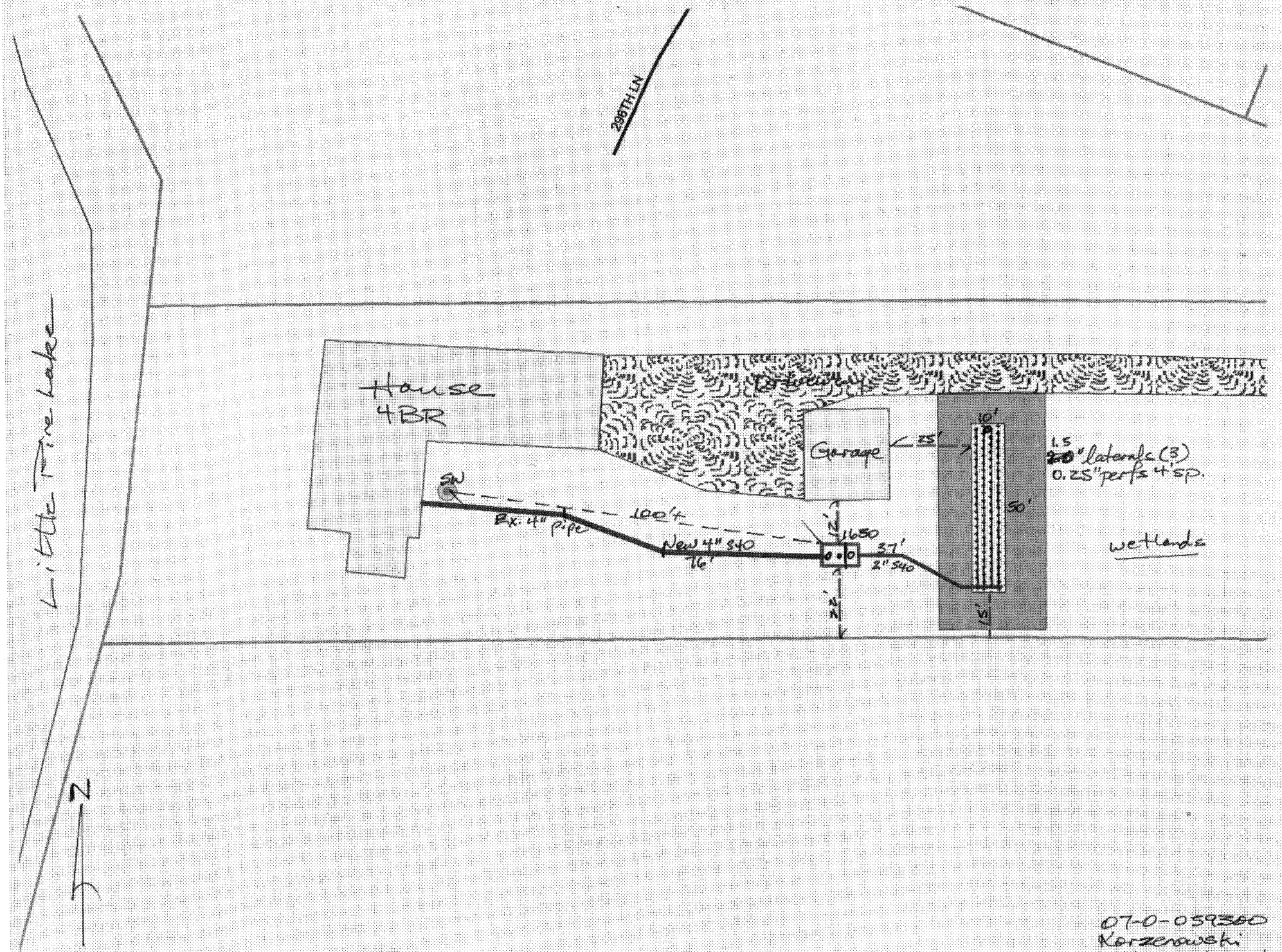
DRAWING OF SYSTEM: (include soils)

See attached site plan

Inspector's Comments: _____

Inspector's Signature Bryan Hargrave **Installer's Signature** Larry Liljenquist

Rev:1/13 White – County Yellow – Applicant Pink - Installer


Little Pine Lake
296TH LN
House
4BR
Garage
25'
10'
50'
1.5 "laterals (3)
0.25" perfs 4' sp.
wetlands
SW
Ex. 4" pipe
100'
New 4" SDR
16'
1650
37'
2" SDR
N
N
N
07-0-059360
Korzenowski
Liljenquist inst.

PRELIMINARY EVALUATION DATE _____, FIELD EVALUATION DATE _____

PROPERTY OWNER: JAMIE AND AMY KORZENOWSKI PHONE _____

ADDRESS: 29389 427TH AVE CITY,STATE,ZIP: AITKIN MN 56431

LEGAL DESCRIPTION

PIN# 07-0-059300 SEC 27 T 46 R 27 TWP NAME FARM ISLAND

FIRE# _____ LAKE/RIVER LITTLE PINE LAKE LAKE CLASS ____ OHWL ____ FT.

DESCRIPTION OF SOIL TREATMENT AREAS

	AREA #1	AREA #2
DISTURBED AREAS	YES NO X	YES ___ NO ___
COMPACTED AREAS	YES NO X	YES ___ NO ___
FLOODING	YES NO X	YES ___ NO ___
RUN ON POTENTIAL	YES NO X	YES ___ NO ___
SLOPE %	4	
DIRECTION OF SLOPE	EAST	
LANDSCAPE POSITION	SIDE SLOPE	
VEGETATION TYPES	GRASS - BRUSH	

REFERENCE BM ELEV. 100 FT.

REFERENCE BM DESCRIPTION SLAB OF EXISTING UNATTACHED GARAGE

DEPTH TO STANDING WATER OR MOTTLED SOIL: BORING# 1 8', **1A** 8', **2** ____, **2A** ____

BOTTOM ELEVATION--FIRST TRENCH OR BOTTOM OF ROCK BED: #1 ____ **FT., #2** ____ **FT.**

SOIL SIZING FACTOR: SITE # 1 1.27, **SITE #2** ____

CONSTRUCTION RELATED ISSUES: 3' SANDBASE (OTHER SYSTEM) INSPECTOR BRIAN HAS BEEN ONSITE

LIC# 127 SITE EVALUATOR SIGNATURE Larry Liljenquist

SITE EVALUATOR NAME: LARRY LILJENQUIST TELEPHONE# 218 820 8886

LUG REVIEW PD DATE 10/16/17

Comments:

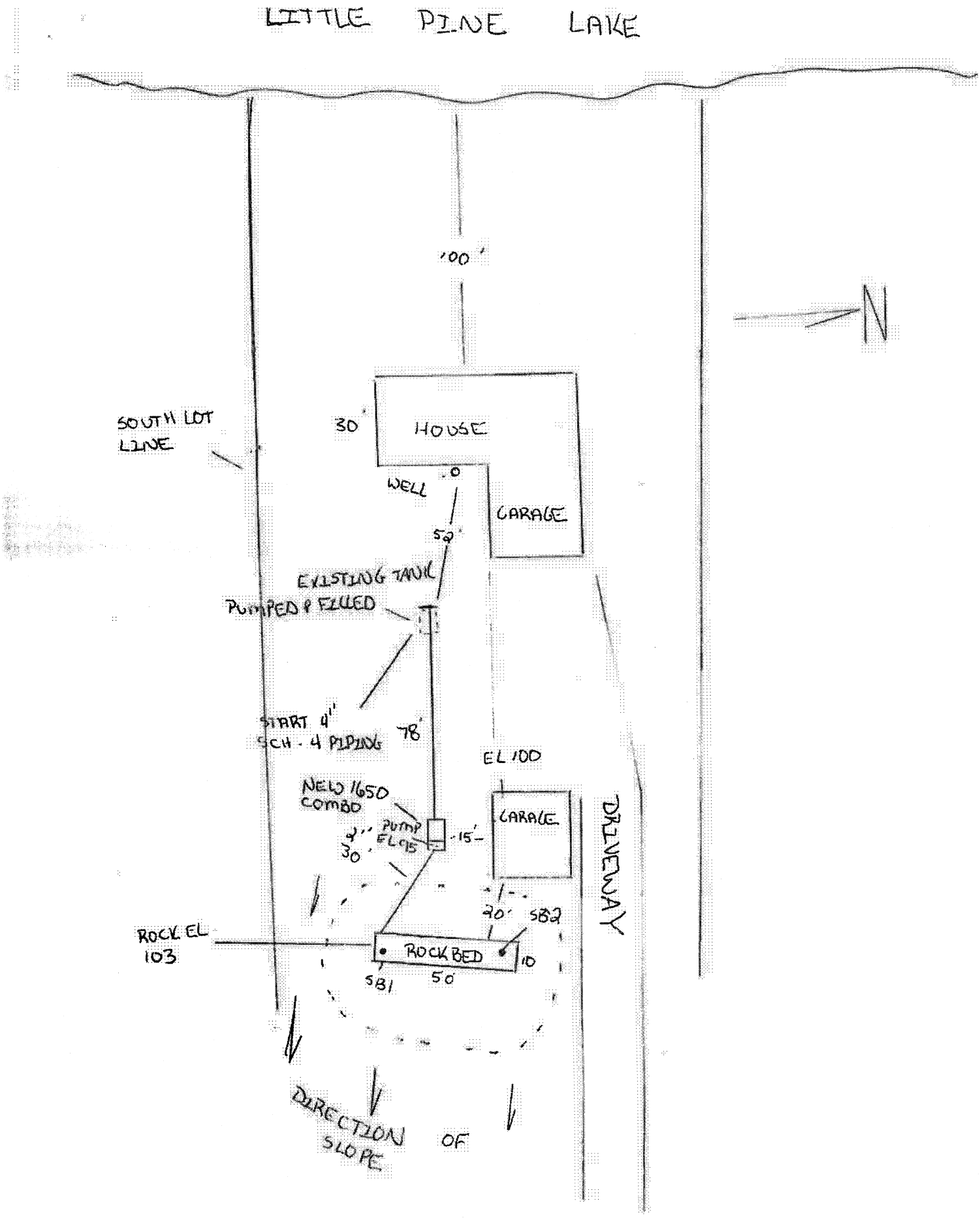
Form dcs 2/20/93

TOPSOIL 0 - 8	SANDY LOAM	10YR 3/2
8 - 12	SANDY LOAM	10YR 5-4

MOTTLED UNDER TOPSOIL

TOPSOIL 0 - 8	SANDY LOAM	10YR 3/2
8 - 12	SANDY LOAM	10YR 5/4

MOTTLED UNDER TOPSOIL


LITTLE PINE LAKE
100'
N
SOUTH LOT LINE
30'
HOUSE
WELL
.0
GARAGE
52'
EXISTING TANK
PUMPED & FILLED
START 4" SCH-4 PIPING
78'
EL 100
NELO 1650 COMBO
PUMP EL 95
.15'
GARAGE
DRIVEWAY
30'
20'
SB2
ROCK EL 103
ROCK BED
10
SB1
50'
DIRECTION OF SLOPE

AITKIN COUNTY ENVIRONMENTAL SERVICES-PLANNING & ZONING
307 Second Street NW, Room 219
Aitkin, Minnesota 56431
PH: (218) 927-7342
FX: (218) 927-4372
aitkinpz@co.aitkin.mn.us

OPERATING PERMIT RENEWAL CANCELLATION

10/26/2020

RE: Operating Permit **#568**
Zoning Permit **#43327**
Parcel **# 07-0-059300**

JAMIE & AMY KORZENOWSKI
29389 427TH AVE
AITKIN, MN 56431

Dear Permittee:

Our office is in receipt of the Monitoring and Maintenance Results of your "Other Septic System". The results indicate that your septic system **is meeting the objectives** of the Operating Permit and is reported to be operating and performing as designed. In addition, we are in receipt of a letter from the inspector, Larry Liljenquist The letter recommends the Operating Permit renewal requirement be removed. Therefore, Aitkin County is **no longer requiring the annual renewal** of your Operating Permit.

Please be aware that continued good water use management, periodic septic system maintenance and inspection for failure is still the responsibility of the landowner and that this system is not classified as a standard Individual Sewage Treatment System. Your continued diligence will help ensure the longevity and function of the septic system. Aitkin County encourages you to establish a monitoring and maintenance schedule with a qualified professional.

Sincerely,

Shannon W.

Aitkin County Planning & Zoning

AITKIN COUNTY SHORELAND PERFORMANCE *updated*

(Structure Placement Guidance)

A property should obtain a score of 100 or more to meet performance standard requirements. A conforming lot is assigned a score of 100. A lot is deemed conforming when the structure meets the required setbacks to the protected water as specified in the Aitkin County Shoreland Management Ordinance (SMO). A structure that fails to meet this definition is considered non-conforming.

To determine the level of non-conformance and score (See Reference Table):

1) Determine the DNR classification of the protected water on the lot (SMO-4.13 & 4.14) ..... 1: Recreation
2) Determine the required "Structure Setback" to that classification of water (SMO 5.2) 2: 100
3) Determine the "Actual Setback" of the structure by measuring the closest part of the structure to the protected water, bluff, right-of-way, property line, etc. for which a variance is sought 3: 56.2
4) Enter the corresponding 'Score Multiplier' 4: 1.00
5) Pre-mitigation 'Lot Score': Determine the percentage of the encroachment as it relates to the standard setback by multiplying the Actual Setback with the 'Score *Multiplier' (Note: round to the nearest whole number)* 5: 56

Reference Table: Performance Multipliers for structures, septics, bluff, and sidelots in Aitkin County.

Protected Waters Type *(DNR Classification; SMO 4.13-4.14)*	**Required Structure Setback**	**Score Multiplier Structures**	**Required Septic Setback**	**Score Multiplier Septic**	**Score Multiplier Bluff**	**Score Multiplier Sidelot**
General Development Lake	75'	1.333	75'	1.333	(30' setback)	(10' setback)
Recreational Development Lake	100'	1.000	75'	1.333		
Natural Environment Lake	150'	0.667	150'	0.667		
Mississippi River	150'	0.667	125'	0.800		
Tributary Stream	100'	1.000	75'	1.333	3.33	10.000
Forested Stream	150'	0.667	100'	1.000		
Remote Stream	200'	0.500	150'	0.667		

Mitigation: ***To bring a non-conforming structure to a score of 100 the landowner conducts and maintains one or more of the below listed mitigating activities:***

A) Zone A(1): Plant and/or maintain a 12.5' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c) ..... **15 points**
Zone A(2): Plant and/or maintain a 25' wide natural vegetated buffer zone adjacent to the OHW and record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* Water access as defined in the Shoreland Management Ordinance is allowed (Section 5.31.B.2.c) ..... **30 points**

B) Zone B: Plant and/or maintain an <u>additional</u> 12.5' wide natural vegetated buffer zone between Zone A landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. ..... **20 points**

C) Zone C: Plant and/or maintain an <u>additional</u> 12.5' wide natural vegetated buffer zone between Zone B landward. Record deed restrictions to maintain vegetation in its natural state, prohibit mowing or vegetation removal.* A ten-foot (10') access path is allowed. ..... **10 points**

D) Construction of rain garden(s) to Wisconsin DNR Manual specifications ..... **20 points**

E) Removal of <u>all</u> other structures that do not meet the standard building setbacks, including water oriented structures ..... **20 points**

F) Removal of impervious surfaces to at least half ordinance limits (SMO 5.52.A) ..... **10 points** Already in* compliance

G) Removal of fill all placed in historic wetlands and guarantee of no future wetland fill recorded on deed ..... **10 points**

H) Re-vegetate bluff or steep slopes* <u>and</u> provide screening of structures from the lake. ..... **10 points**

I) Diversion of all water runoff from impervious surfaces away from the lake into retention ponds, subsurface drains, wetlands, etc. with no outlet to the lake or tributary ..... **10 points**

J) Existing conditions may apply on the property that warrant credit ..... *To be determined by P&Z*

Final Score = Pre-mitigation Lot Score (Line 5) 56 + Mitigation Totals (Lines A-I) 10 = 66

**Note: Plant materials for vegetative buffers shall be native to northern Minnesota. For every 5,000 square feet of buffer area, there shall be a minimum of four types of trees, six types of shrubs, seven forbs, and three grasses planted to achieve a one plant per square foot minimum coverage. Survival of all plants must be guaranteed for a minimum of 5 years*

Board of Adjustment Chairperson _____ *Applicant* _____

PART VII: STANDARD EROSION CONTROL PLAN

According to Aitkin County's Shoreland Management Ordinance, soil erosion control information needs to be included on the site plan which is submitted and approved prior to the issuance of zoning permits. The Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. A cross section sheet is required for walkout basements and excavations into hillsides for determining volume of fill to be excavated.

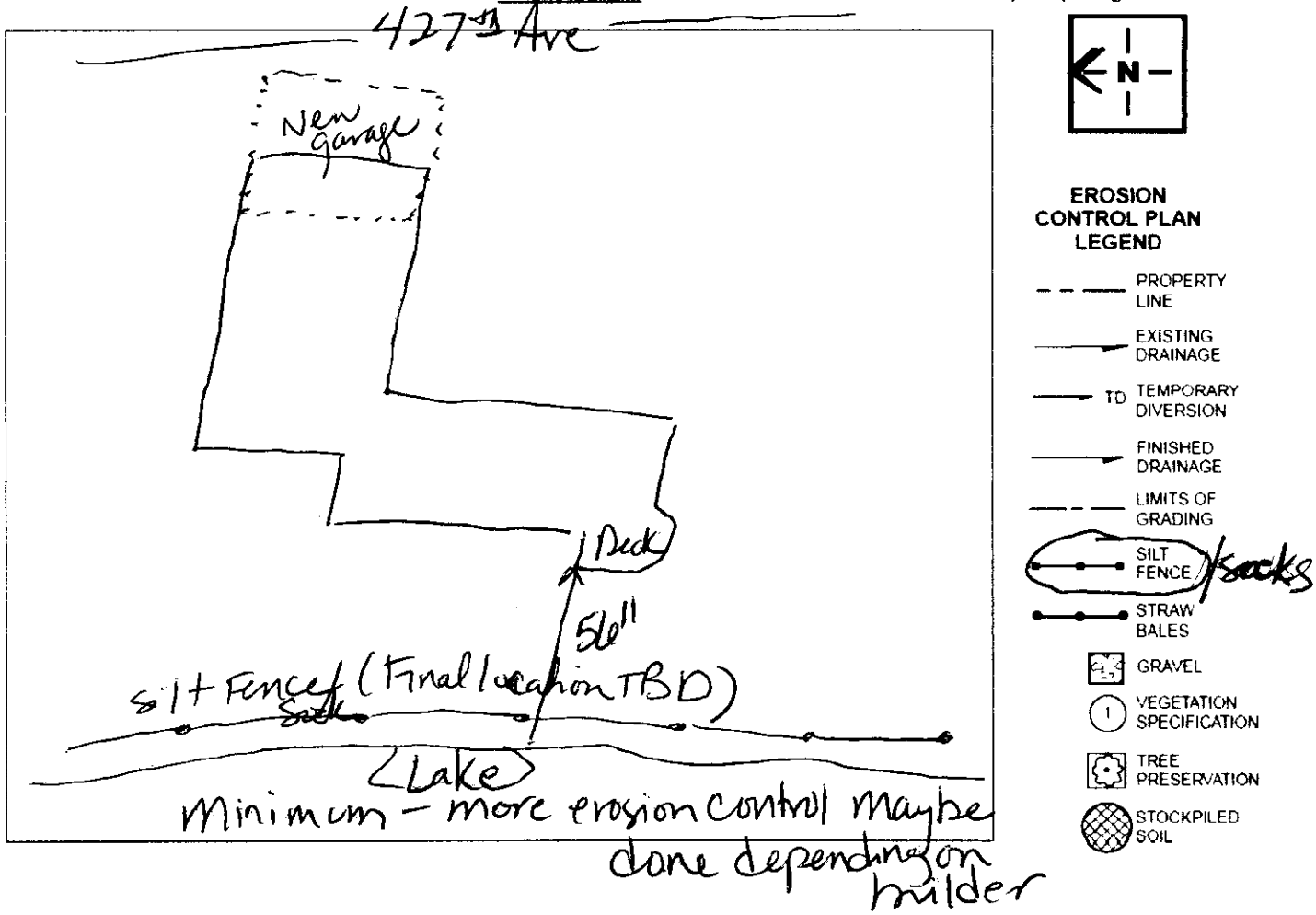
Project Location 29389 427th Ave Aitkin MN 56431

Builder TBD Owner Amy & Jamie Korzenowski

Worksheet Completed By Amy & Jamie Korzenowski Date 7/31/2025

Amount of earthen material to be excavated and/or used for fill 47 cubic yards.

SITE DIAGRAM **Scale 1 inch = _____ feet** Please indicate north by completing the arrow.



Minimum - more erosion control maybe done depending on builder

Management Strategies

- ☐ Temporary stabilization of disturbed areas.
  Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.

- ☐ Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).
  - Indicate re-vegetation method: (Circle one of the following) Seed Sod
    Other _____
  - Expected date of permanent re-vegetation: _____
  - Re-vegetation responsibility of: (Circle one of the following)
    Builder Owner/Buyer
  - Is temporary seeding or mulching planned if site is not seeded by Sept. 15 or sodded by Nov. 15? (Circle one of the following) Yes No

- ☐ Use of downspout and/or sump pump outlet extensions.
  Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.

- ☐ Trapping sediment during de-watering operations.
  Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.

- ☒ Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.

- ☒ Maintenance of erosion control practices.
  - Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height o f the barrier.
  - Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
  - All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
  - All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
  - Access drives will be maintained throughout construction.
  - All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

(Top 3 inches reserved for recording data)

WARRANTY DEED
Individual(s) to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.1.1 (2016)

e-CRV No.: _____

DEED TAX DUE: $825.00

DATE: June 29, 2017

FOR VALUABLE CONSIDERATION, Rolland G. Mihalko **("Grantor")**, hereby conveys and warrants to Jamie T. Korzenowski and Amy M. Korzenowski **("Grantee")**, as

(Check only one box)

☐ Tenants in Common
☒ Joint Tenants

(if more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)

real property in Aitkin County, Minnesota, legally described as follows:

Legal description attached hereto and made a part hereof marked Exhibit "A"

Check here if all or part of the described real property is Registered (Torrens) ☐

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:

Check applicable box:

☐ The Seller certifies that the Seller does not know of any wells on the described real property.

☒ A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____)

☐ I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

Timothy Mihalko as Attorney-In -Fact for Rolland G. Mihalko

State of Minnesota
County of Hennepin

This instrument was acknowledged before me on June 29, 2017, by Timothy Mihalko as Attorney-In -Fact for Rolland G. Mihalko.

(Seal, if any)
ANDREA G. PETERSON
Notary Public-Minnesota
My Commission Expires Jan 31, 2018

(signature of notarial officer)

Title (and Rank): _____

My commission expires: 1-31-18
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
Edina Realty Title, Inc.
6800 France Ave S, Suite 200
Edina, MN 55435

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
Jamie T. Korzenowski and Amy M. Korzenowski
29389 427th Avenue
Aitkin, MN 56431

EXHIBIT "A"

That part of Government Lot 5 of Section 27, Township 46 North, Range 27 West, described as follows:

Commencing at an iron pipe at the point where the center line of Highway No. 169, through the South Half of said Section 27, where said center line produced North intersects the South line of Government Lot 5; thence North 42 degrees East a distance of 134.6 feet to the point of beginning of the following tract of land to be described, said point being 100 feet North of the South line of said Government Lot 5; thence continuing North 42 degrees East a distance of 44.2 feet; thence North 68 degrees 06 minutes West, a distance of 180.1 feet; thence West, parallel with the South line of said Government Lot 5 to the shore line of Pine Lake; thence Southerly 100 feet, more or less, along said shore line to its intersection with a line bearing West, from the point of beginning; thence East, parallel with the South line of said Government Lot 5 to the point of beginning.